

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT  
DISTRICT**

**September 1, 2022**

**BOARD OF SUPERVISORS**

**REGULAR MEETING**

**AGENDA**

**Naples Reserve Community Development District**  
**OFFICE OF THE DISTRICT MANAGER**  
**2300 Glades Road, Suite 410W•Boca Raton, Florida 33431**  
**Phone: (561) 571-0010•Toll-free: (877) 276-0889•Fax: (561) 571-0013**

August 25, 2022

Board of Supervisors  
Naples Reserve Community Development District

<p><b><u>ATTENDEES:</u></b> Please identify yourself each time you speak to facilitate accurate transcription of meeting minutes.</p>
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Dear Board Members:

The Board of Supervisors of the Naples Reserve Community Development District will hold a Regular Meeting on September 1, 2022 at 10:30 a.m., at the Island Club at Naples Reserve, Activities Room, 14885 Naples Reserve Circle, Naples, Florida 34114. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comments
3. Action Items Updates
  - A. Chair
    - I. Matters Relating to the Littoral Shelf
    - II. Message to Residents
    - III. Link Sent to Residents Regarding Collier County Site
  - B. Supervisor Hill
    - Project Taking Full Inventory of Existing Structures and Landscaping
4. Service Provider Reports
  - A. Cardno
  - B. SOLitude Lake Management, LLC: 07/01/22 – 07/31/22
  - C. Napier Sprinkler, Inc.
5. Continued Discussion/Consideration of Encroachment [14361 Charthouse Circle, Lot 53]
  - A. Collier County Government Corrections Letter [1<sup>st</sup> Single Family]
  - B. Collier County Government Corrections Letter [2<sup>nd</sup> Single Family]
  - C. New Build Plans
  - D. Pool Application Approval

- E. Propane Tank Plans
- F. Easement Vacation Sketch
- G. Boundary Spot Survey (Approved)
- 6. Discussion: Encroachment [14293 Charthouse Circle]
- 7. Ratification of Generator Encroachment Agreement [14531 Stillwater Way]
- 8. Discussion/Consideration of Termination of Oversight Agreement with HOA
- 9. Discussion: Project Management Report/To Do List
- 10. Acceptance of Unaudited Financial Statements as of July 31, 2022
- 11. Approval of August 4, 2022 Public Hearing and Regular Meeting Minutes
- 12. Other Business
- 13. Staff Reports
  - A. District Counsel: *Coleman, Yovanovich & Koester, P.A.*
  - B. District Engineer: *Hole Montes, Inc.*
    - Drainage Easements and Lake Conveyance Maps
  - C. Operations Manager: *Wrathell, Hunt and Associates, LLC*
    - Lingerin Homeowner Issues
  - D. District Manager: *Wrathell, Hunt and Associates, LLC*
    - NEXT MEETING DATE: October 6, 2022 at 10:30 AM

○ QUORUM CHECK

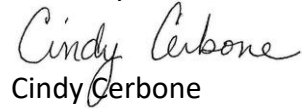
CHARLENE HILL	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
THOMAS MARQUARDT	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
DEBORAH LEE GODFREY	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
GREGORY INEZ	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
ANNA HARMON	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO

- 14. Public Comments
- 15. Supervisors' Requests

16. Adjournment

Should you have any questions and/or concerns, please feel free to contact me directly at (561) 346-5294 or Jamie Sanchez at (561) 512-9027.

Sincerely,



Cindy Cerbone  
District Manager



**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**3B**



**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**4B**



Service History Report

August 15, 2022
50097

Naples Reserve CDD

Date Range: 07/01/22..07/31/22

Toll Free: (888) 480-5253
Fax: (888) 358-0088
www.solitudelakemanagement.com

Service Date 7/7/2022 14221
No. PI-A00842527
Order No. SMOR-621243
Contract No. SVR56788
Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Table with 4 columns: Service Item #, Description, Lake No., Lake Name. Row 1: 14221-LAKE-ALL, Naples Reserve CDD - Lake All, Lake All. Includes Technician's Comments and General Comments.

Service Date 7/14/2022 14221
No. PI-A00852564
Order No. SMOR-622749
Contract No. SVR56788
Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Table with 4 columns: Service Item #, Description, Lake No., Lake Name. Row 1: 14221-LAKE-ALL, Naples Reserve CDD - Lake All, Lake All. Includes Technician's Comments and General Comments.

Service Date 7/21/2022 14221
No. PI-A00856540
Order No. SMOR-624810
Contract No. SVR56788
Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Service Item #	Description	Lake No.	Lake Name
<b>14221-LAKE-ALL</b>	<b>Naples Reserve CDD - Lake All</b>		Lake All
Technician's Comments:	Treated lakes for grasses and vines on littorals and shorelines. Trash removal.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			OK
Inspected for Undesirable Shoreline Vegetation			Treated
Trash & Light Debris Removal			Removed for repair

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<b>Service Date</b>	<b>7/27/2022</b>	<b>14221</b>
<b>No.</b>	PI-A00858660	
<b>Order No.</b>	SMOR-626937	
<b>Contract No.</b>	SVR56788	
<b>Technician Name and State License #s</b>	Eggy Suarez (FL-CM22494)	

Service Item #	Description	Lake No.	Lake Name
<b>14221-LAKE-ALL</b>	<b>Naples Reserve CDD - Lake All</b>		Lake All
Technician's Comments:	Treated lakes for grasses and algae. Trash removal. Water level high.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			Treated
Inspected for Undesirable Shoreline Vegetation			Treated
Trash & Light Debris Removal			Removed for repair

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**5A**

# COLLIER COUNTY GOVERNMENT

GROWTH MANAGEMENT DEPARTMENT / BUILDING REVIEW & INSPECTION DIVISION  
2800 N. Horseshoe Drive, Naples FL 34104 \* Phone (239) 252-2428

## Outstanding First Corrections

**Date:** June 24, 2022  
**Contact Name:** ERIC KOCH  
**Address:** unit 5, Unit 5  
**City, State Zip:** Cape Coral, FL 33909

**Contact Name:** COOL WATER CUSTOM POOLS INC  
**Address:** 674 STONECREST LANE #5  
**City, State Zip:** CAPE CORAL, FL 33909

**PERMIT NO:** PRSPL2022041746501  
**APPLICATION NO:** PRSPL20220417465  
**JOB SITE ADDRESS:** 14361 Charthouse CIR, Naples, Vacant Land  
**Email:**office@coolwatercustompoolsinc.com  
**APPLICATION NO:** PRSPL20220417465  
**JOB SITE ADDRESS:** 14361 Charthouse CIR, Naples, Vacant Land  
**Email:**OFFICE@COOLWATERCUSTOMPOOLSINC.COM

Dear Applicant:

Plans submitted with the referenced permit have been reviewed. We are unable to approve your permit application for the reason(s) indicated below.

In accordance with Section 553.79(16), F.S. (2021), "the applicant has 10 business days after receiving the written notice to submit revisions to correct the permit application and that failure to correct the application within 10 business days will result in a denial of the application", unless applicant agrees to a longer period in writing. You can upload your signed "Waiver" [Located Here](#) to the "Waiver of review time limits" condition with your submittal addressing the outstanding comments.

### ***For Applications Submitted through the GMD E-Permitting Portal:***

- Resubmittals must be submitted in the same session and the changes must be clouded.
- Corrected documents must be submitted as complete files (with the corrected sheets *replacing* the rejected sheets). Submittals containing just the corrected sheets will be returned as Insufficient.
- A written letter of response summarizing the changes made to address each correction comment must be included in your resubmittal. Failure to include a written letter of response could result in a rejection.
- After your resubmittal is processed the documents will be reviewed again; additional deficiencies may be identified through this process.

**JOB DESCRIPTION:** Pool and SPA master plans, no light niche, Paver deck with footer PRPO20210837967  
PRBD20210839347  
14361 Charthouse CIR, Naples, Vacant Land

### **Rejected Review: Plumbing and Handicap Review**

**Reviewed By: Tobias Hytonen**

**Phone:239-276-4460 Email:Tobias.Hytonen@colliercountyfl.gov**

Correction Comment 1: 454.2.18Ladders and steps.

All pools whether public or private shall be provided with a ladder or steps in the shallow end where water depth exceeds 24 inches (610 mm). In private pools where water depth exceeds 5 feet (1524 mm) there shall be ladders, stairs or underwater benches/swim-outs in the deep end. Where manufactured diving equipment is to be used, benches or swim-outs shall be recessed or located in a corner.

Exception: In private pools having more than one shallow end, only one set of steps are required. A bench, swimout or ladder may be used at all additional shallow ends in lieu of an additional set of steps.

Correction Comment 2:

Informational only: FBC 107.2.1 Construction documents shall be of sufficient clarity to indicate location, nature and extent of the work proposed and show in detail that it will conform to the provisions of this code and relevant laws, ordinances, rules, and regulations as determined by the building official.

This review shall be considered incomplete pending receipt of requested and required information. Subsequent review(s) may

reveal additional deficiencies.

**Rejected Review: Zoning Review**  
**Reviewed By: Maria Estrada**  
**Phone:239-252-2408 Email:maria.estrada@colliercountyfl.gov**

Correction Comment 1: Proposed improvements are located within a dedicated easement. Please provide letter from entities that have interest/maintenance responsibility of the easement, authorizing the proposed improvements. (i.e., HOA)

Correction Comment 2: Proposed improvements are located within an easement dedicated to Collier County. Please see options below:

1. Relocate proposed improvements to be out of the easement (Provide New Site Plan showing the relocation).

OR

2. Submit an application for Easement Use Agreement, which will require approval by the Board of County Commissioners. Please contact Marcus Berman for application process at 239-252-6885 or Marcus.Berman@colliercountyfl.gov <https://www.colliercountyfl.gov/home/showdocument?id=89278>. A copy of the approved Easement Use Agreement must be submitted as a correction to this application.



**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**5B**

# COLLIER COUNTY GOVERNMENT

GROWTH MANAGEMENT DEPARTMENT / BUILDING REVIEW & INSPECTION DIVISION  
2800 N. Horseshoe Drive, Naples FL 34104 \* Phone (239) 252-2428

## Second Correction Notification of Denial

**Date:** July 16, 2022  
**Contact Name:** ERIC KOCH  
**Address:** unit 5, Unit 5  
**City, State Zip:** Cape Coral, FL 33909

**PERMIT NO:** PRSPL2022041746501  
**APPLICATION NO:** PRSPL20220417465  
**JOB SITE ADDRESS:** 14361 Charthouse CIR, Naples,  
Vacant Land  
**Email:**office@coolwatercustompoolsinc.com

Dear Applicant:

Upon review of your corrections, the county will not be able to approve your permit application for the reason(s) indicated below. At this time the permit application referenced in this notice shall be considered denied in accordance with Section 553.79 (16), F.S. (2021). Please upload your signed "Waiver" [Located Here](#) to the "Waiver of review time limits" condition with your submittal addressing the outstanding comments.

***For Applications Submitted through the GMD E-Permitting Portal:***

- Resubmittals must be submitted in the same session and the changes must be clouded.
- Corrected documents must be submitted as complete files (with the corrected sheets *replacing* the rejected sheets). Submittals containing just the corrected sheets will be returned as Insufficient.
- A written letter of response summarizing the changes made to address each correction comment must be included in your resubmittal. Failure to include a written letter of response could result in a rejection.
- After your resubmittal is processed the documents will be reviewed again; additional deficiencies may be identified through this process.

**JOB DESCRIPTION:** Pool and SPA master plans, no light niche, Paver deck with footer PRPO20210837967  
PRBD20210839347  
14361 Charthouse CIR, Naples, Vacant Land

**Rejected Review: Zoning Review**  
**Reviewed By: Maria Estrada**  
**Phone:239-252-2408 Email:maria.estrada@colliercountyfl.gov**

Correction Comment 1: REV 2: Comment Remains; HOA approval (Naples Reserve Homeowner's Association and EUA needed. Construction plans show screen door pad encroaching into the easement. Easement Use Agreement required for minor encroachments.

REV 1: Proposed improvements are located within a dedicated easement. Please provide letter from entities that have interest/maintenance responsibility of the easement, authorizing the proposed improvements. (i.e., HOA)

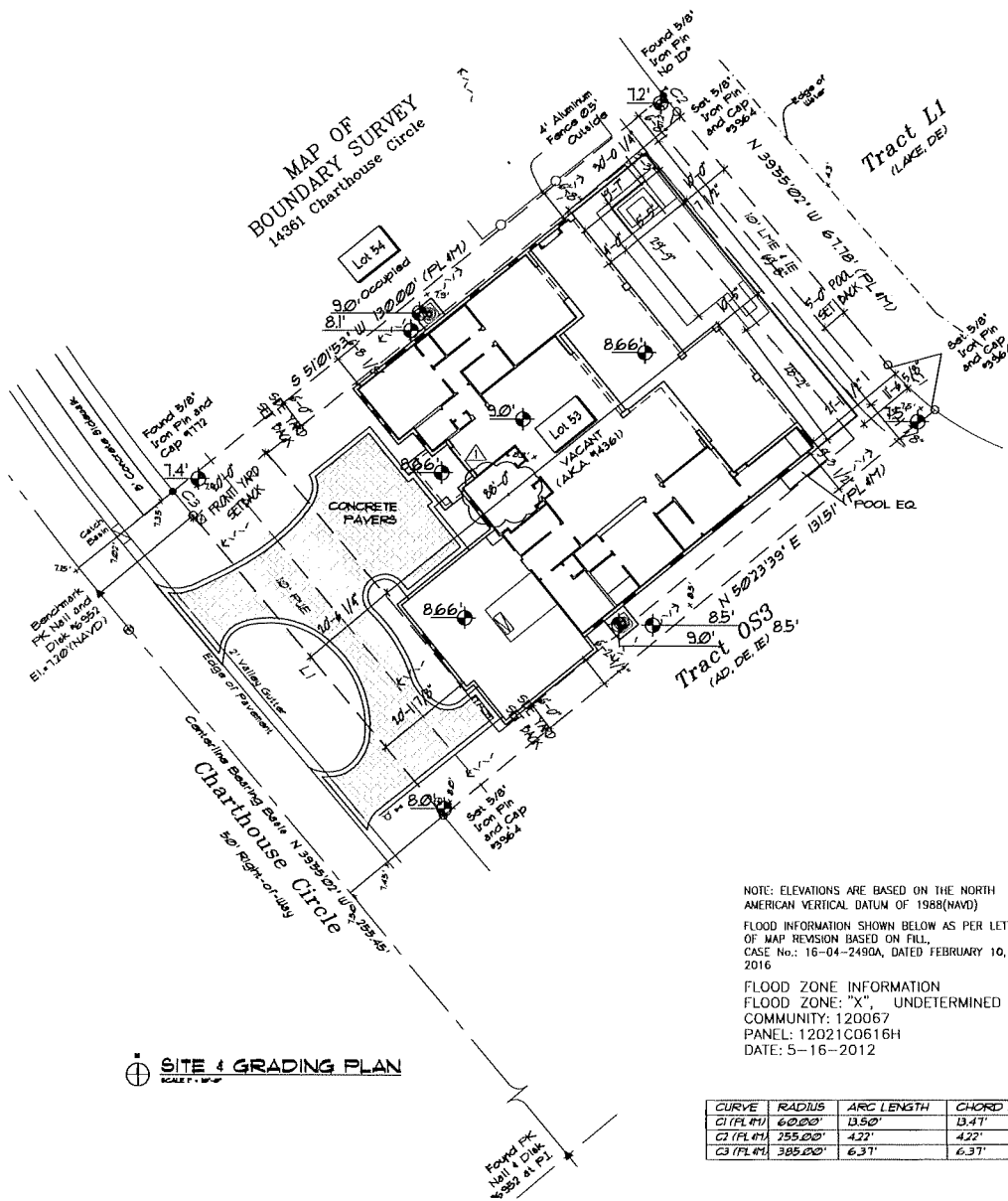
Correction Comment 3: Certified Site plan revised to meet the 7.5' required setback but deck shows 3'-3" measurement from spa to outside of screen line and the construction plans do not match certified site plan.

Correction Comment 4: LDC 4.02.01 D.8.: hoods, canopies, or roof overhangs shall not project over 3 feet into a required yard, but shall not come closer than 1 foot to the lot line.

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**5C**





**SITE & GRADING PLAN**  
SCALE: 1/8" = 1'-0"

NOTE: ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD)  
 FLOOD INFORMATION SHOWN BELOW AS PER LETTER OF MAP REVISION BASED ON FILL,  
 CASE No.: 16-04-2490A, DATED FEBRUARY 10, 2016

FLOOD ZONE INFORMATION  
 FLOOD ZONE: "X", UNDETERMINED  
 COMMUNITY: 120067  
 PANEL: 12021C0616H  
 DATE: 5-16-2012

LINE	BEARING	DISTANCE
L1 (PL 41)	S 39°55'02" E	80.45'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PL 41)	60.00'	13.50'	13.41'	N 46°21'44" W	125°3'24"
C2 (PL 41)	255.00'	4.22'	4.22'	N 39°26'34" W	00°56'55"
C3 (PL 41)	385.00'	6.31'	6.31'	N 39°26'35" W	00°56'55"

3-1/2" MIN. ADDED OVER ALL DIM OF HOUSE



Michael D. Stewart, P.E.  
 License No. 120067  
 State of Florida  
 Professional Engineer  
 www.michaelstewart.com

MICHAEL D. STEWART, P.E.  
 License No. 120067  
 State of Florida  
 Professional Engineer  
 www.michaelstewart.com



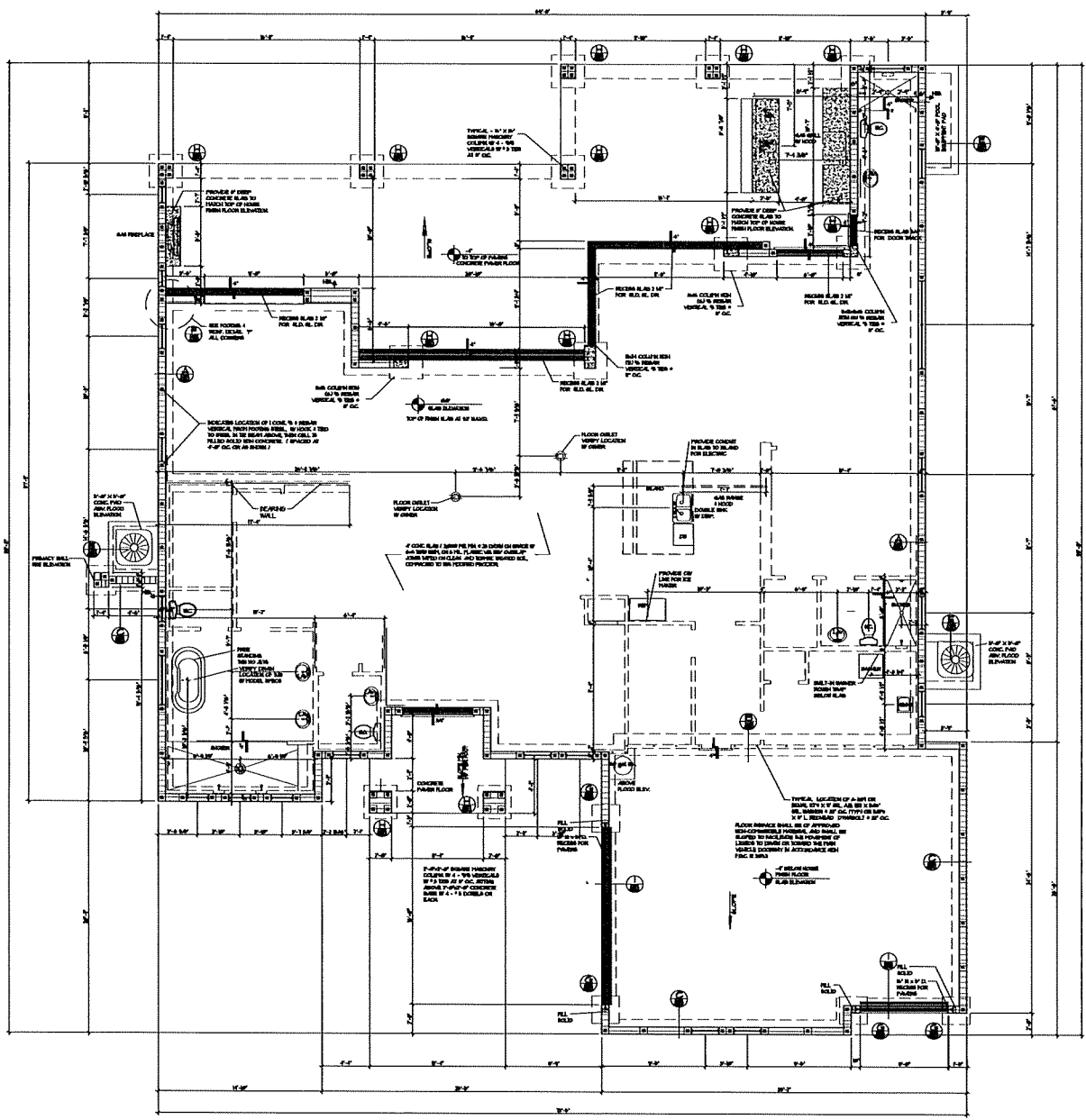
A New Home for:  
**Priskom Residence**  
 Naples Reserve Lot 53  
 14361 Chartreuse Circle  
 Naples, Florida 34114

STATION	COUNTY COMMENT

53  
 1664  
 Naples Reserve Parcel C4  
 538700 536801

Drawn by:  
 DRZ  
 Date: 2/15/2012  
 Sheet  
**A-101**

- ### FOUNDATION NOTES
1. THE OWNER AND/OR THE CONTRACTOR SHALL VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
  2. PROVIDE #4 REBAR ELECTRICAL GROUND TO THE FOOTING STEEL.
  3. DRYER VENTED TO OUTSIDE WITH METAL VENT NON-SCREENED WITH BACKDRAFT DAMPER.
  4. PROVIDE REBAR AS SHOWN.
    - 1-#5 + REBAR AT 4'-0" O.C. OR AS INDICATED.
    - 2-#5 + OR 1-#1 + REBAR OR AS INDICATED.
    - A-3071 ANCHOR BOLT @ 32" O.C. OR AS INDICATED.



**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"



MICHAEL D. STEWART, P.E.  
No. 12527  
STATE OF FLORIDA  
Professional Engineer  
14361 Charthouse Circle  
Naples, Florida 34114  
www.foundationsystems.com



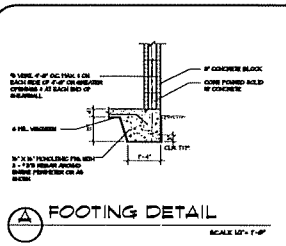
MICHAEL D. STEWART, P.E.  
No. 12527  
STATE OF FLORIDA  
Professional Engineer  
14361 Charthouse Circle  
Naples, Florida 34114  
www.foundationsystems.com

A New Home for:  
**Priskorn Residence**  
Naples Reserve Lot 53  
14361 Charthouse Circle  
Naples, Florida 34114

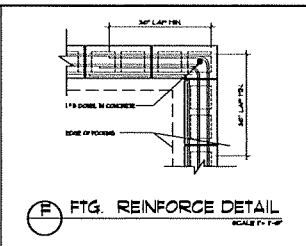

53	1664
Naples Reserve Parcel C4	
538700 536801	

Sheet  
A-102

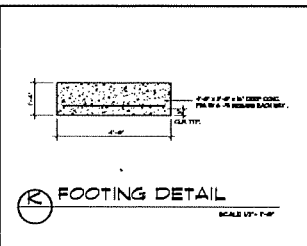
- NOTE:  
CONTRACTOR SHALL VERIFY ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH MANUFACTURERS SPECIFICATIONS.
- NOTE:  
1. ALL RE-BARS GRADE 60 ASTM A63, 60,000 PSI A.  
2. ALL CONCRETE 3000 PSI FC.  
3. ALL REBARs ECL 10A 2,000 PBF.



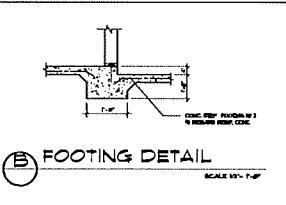
**A FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



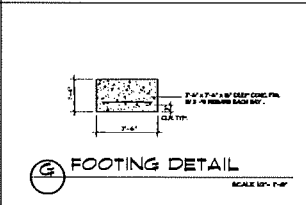
**F FTG. REINFORCE DETAIL**  
SCALE 1/2" = 1'-0"



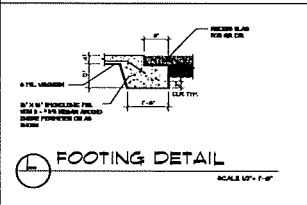
**K FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



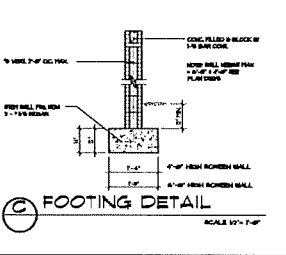
**B FOOTING DETAIL**  
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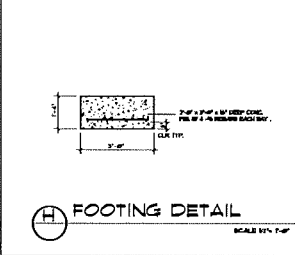
**G FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



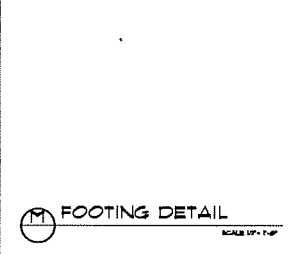
**L FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



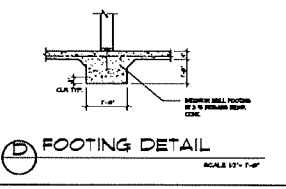
**C FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



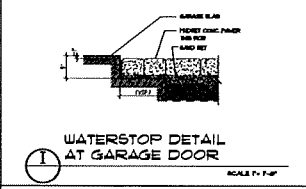
**H FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



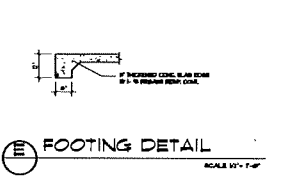
**M FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



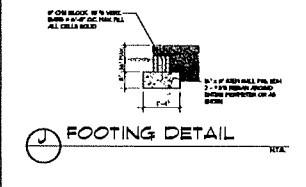
**D FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



**I WATERSTOP DETAIL AT GARAGE DOOR**  
SCALE 1/2" = 1'-0"



**E FOOTING DETAIL**  
SCALE 1/2" = 1'-0"



**J FOOTING DETAIL**  
SCALE 1/2" = 1'-0"

**GENERAL NOTES**

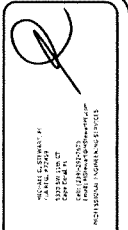
1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN ACCORDANCE WITH LOCAL, CITY, COUNTY AND STATE REGULATIONS PERTAINING TO CONSTRUCTION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN ACCORDANCE WITH LOCAL, CITY, COUNTY AND STATE REGULATIONS PERTAINING TO CONSTRUCTION.
3. ALL UTILITY AND SERVICE LINES FOR CHANGES ARE TO BE TYPICAL AND SHALL BE COVERED TO APPLY TO ANY SERVICE LINES EXISTING IN THE AREA.
4. FOUNDATIONS ARE DESIGNED FOR A SOIL BEARING CAPACITY OF 1500 PSF. THE CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY AND MAKE NECESSARY CHANGES TO THE DESIGN PRIOR TO COMMENCING WORK.
5. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE SPECIFIED. REINFORCING BARS SHALL BE TYPICAL AND SHALL BE COVERED TO APPLY TO ANY SERVICE LINES EXISTING IN THE AREA.
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**GENERAL SPECIFICATIONS**

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN ACCORDANCE WITH LOCAL, CITY, COUNTY AND STATE REGULATIONS PERTAINING TO CONSTRUCTION.
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5. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE SPECIFIED. REINFORCING BARS SHALL BE TYPICAL AND SHALL BE COVERED TO APPLY TO ANY SERVICE LINES EXISTING IN THE AREA.
6. ALL UTILITY AND SERVICE LINES FOR CHANGES ARE TO BE TYPICAL AND SHALL BE COVERED TO APPLY TO ANY SERVICE LINES EXISTING IN THE AREA.
7. ALL UTILITY AND SERVICE LINES FOR CHANGES ARE TO BE TYPICAL AND SHALL BE COVERED TO APPLY TO ANY SERVICE LINES EXISTING IN THE AREA.
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**ARCHITECTURAL NOTES**

1. CONFORM WITH ALL STATE, COUNTY AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS PERTAINING TO CONSTRUCTION.
2. CONFORM WITH ALL STATE, COUNTY AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS PERTAINING TO CONSTRUCTION.
3. PROVIDE TYPICAL PROTECTION OVER OPENINGS.
4. MINIMUM FINISHED FLOOR ELEVATION SHALL BE AT LEAST 1.5' PLUS 1 PERCENT ABOVE LOW POINT OF LOT, HIGHER THAN FLOOD ELEVATION OR AS NOTED ON SITE.
5. ALL FOOTINGS TO EXISTING EXTERIOR GARAGE AREAS AS PER LOCAL CODES & REGULATIONS SHALL INTERLOCK EXTERIOR FOOTINGS & INTO NATURAL GRADE UNLESS NOTED OTHERWISE.
6. ALL UTILITY AND SERVICE LINES FOR CHANGES ARE TO BE TYPICAL AND SHALL BE COVERED TO APPLY TO ANY SERVICE LINES EXISTING IN THE AREA.
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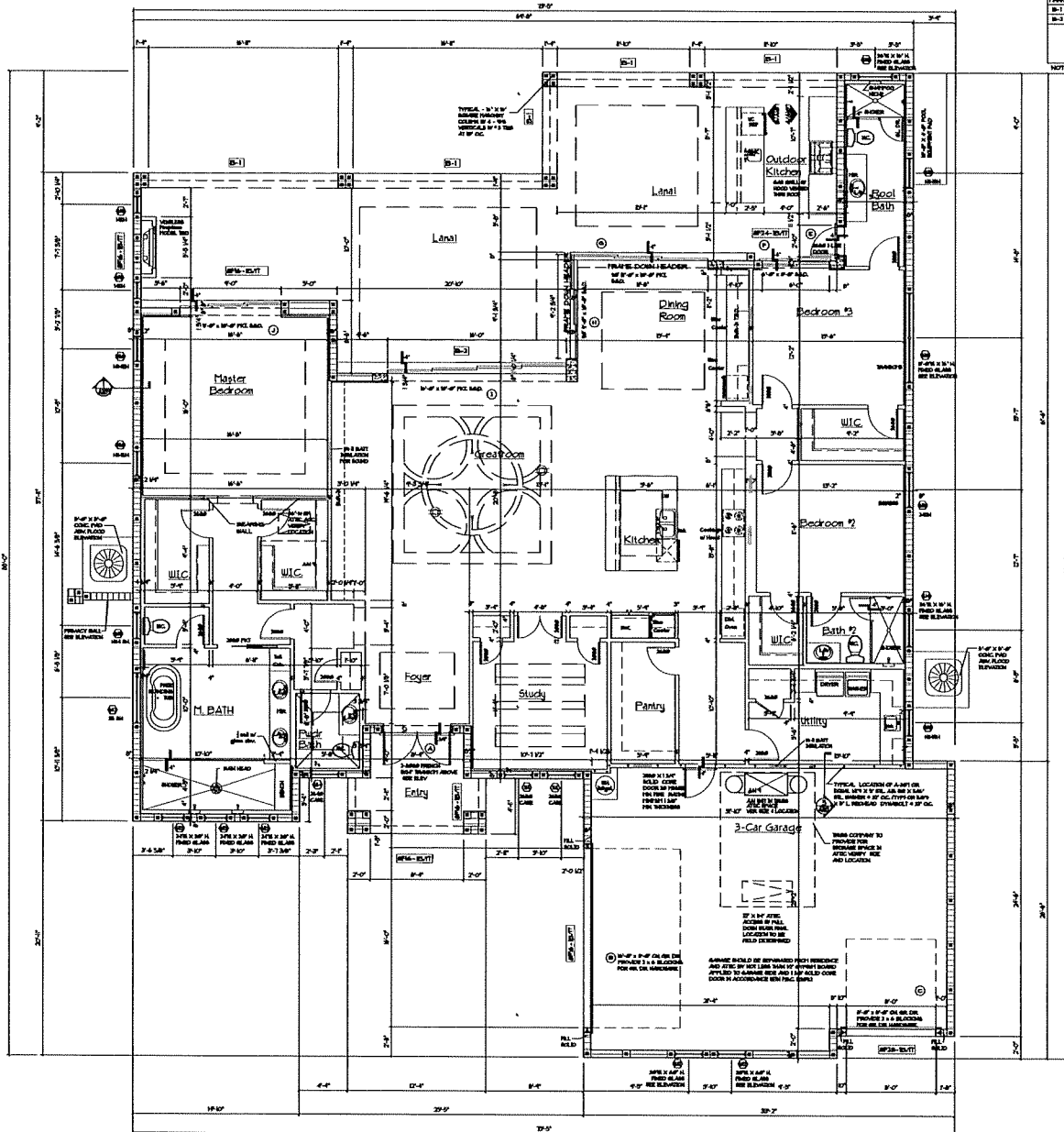
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A New Home for:  
**Priskom Residence**  
Naples Reserve Lot 53  
14361 Chantrelle Circle  
Naples, Florida 34114


53  
1664  
Naples Reserve Patriot Cay  
538700.536801

Sheet  
A-103



**FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**BEAM SCHEDULE**

MARK	BEAM	DEPTH	TOP REIN.	BOT. REIN.	CONC. REIN.	FORMER REIN.	NOTES
B-1	8"	3'-7 1/2"	3'-7 1/2"	N/A	9" x 7" O.C. (TYP)		TYP. (S&S)
B-2	8"	3'-7 1/2"	3'-7 1/2"	1/2" x 8"	9" x 7" O.C. (TYP)		TYP. (S&S)

NOTE: START ALL STEELPLAS = 2" ON SUPPORT FACE.

**WALL LEGEND**

- BLACK WALL
- RED FRAME WALL EACH CELL
- 2" x 8" - 0'6"
- LOAD BEARING WALL
- 1" x 8" REBAR 4" O.C. OR AS NOTED
- 3" x 8" x 1/2" REBAR OR AS NOTED
- ASBESTOS ACES W/ 1" O.C. OR AS NOTED

**AREAS**

FLOOR FINISH	4800 S&S (F)
LAND	800 S&S (F)
W.C. ALUMINUM	800 S&S (F)
ROOF	800 S&S (F)
TOTAL	4000 S&S (F)

**PRECAST LINTEL**

MARK	BEAM
B-1	SP-1017

NOTE: PRECAST LINTEL SHALL BE MANUFACTURED BY CAST CONCRETE OR EQUAL, AND SHOWN AS NOTED ON PLAN.

NOTE: ALL PRECAST LINTELS SHALL BE AFFIXED AT AS SHOWN BY CAST CONCRETE OR EQUAL, UNLESS NOTED OTHERWISE ON PLAN.

NOTE: CONTRACTOR SHALL VERIFY ALL TRADEWORK OPERATIONS FOR WINDOW & DOOR WITH MANUFACTURER SPECIFICATIONS. SEE SHEET APT FOR DOOR AND WINDOW TYPE AND SCHEDULES. DO NOT MAKE WINDOW GUARDING GRILL, DOORSTOP AND POOL HEATER.

**COMPLIANCE STATEMENT**  
THIS DOCUMENT HAS BEEN PREPARED BY THE ENGINEER AND ARCHITECT FOR THE PROJECT AND IS NOT TO BE USED FOR ANY OTHER PROJECT. THE ENGINEER AND ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. ANY CHANGES TO THIS DOCUMENT SHALL BE MADE BY A SEPARATE DOCUMENT. ANY CHANGES TO THIS DOCUMENT SHALL BE MADE BY A SEPARATE DOCUMENT. ANY CHANGES TO THIS DOCUMENT SHALL BE MADE BY A SEPARATE DOCUMENT.

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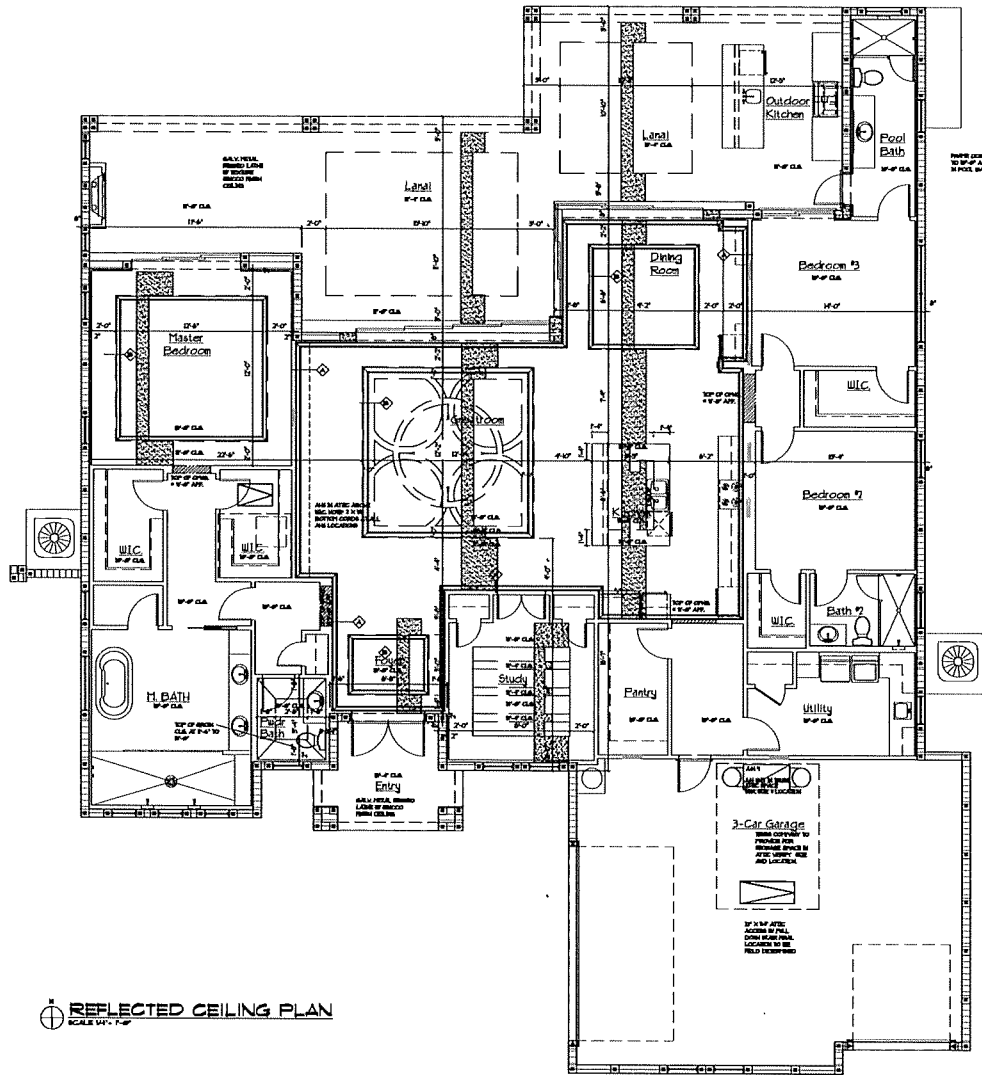
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A New Home for:  
**Priskorn Residence**  
Naples Reserve Lot 53  
14-161 Chantreuse Circle  
Naples, Florida 34114


53  
1664  
Naples Reserve Parrot Cay  
538700 5361801

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A-104

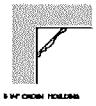




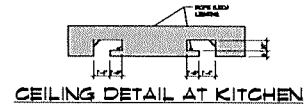
- REFLECTED CEILING TYP. NOTES**
1. BASE BOARD IS - 1 1/4"
  2. ALL CASING IS - 3 1/2"
  3. PERIMETER CROWN MOLDINGS IS - 5 1/4" AT PERIMETER HALLWAYS.
  4. TRAY CROWN MOLDINGS IS - 5 1/4".
  5. PERIMETER CROWN MOLDINGS IS - 6 1/4" THROUGH PERIMETER OF THE GREAT ROOM, DINING ROOM, KITCHEN, FOYER, HALLWAY, AND MASTER BATH.



DETAIL 'A'



DETAIL 'B'



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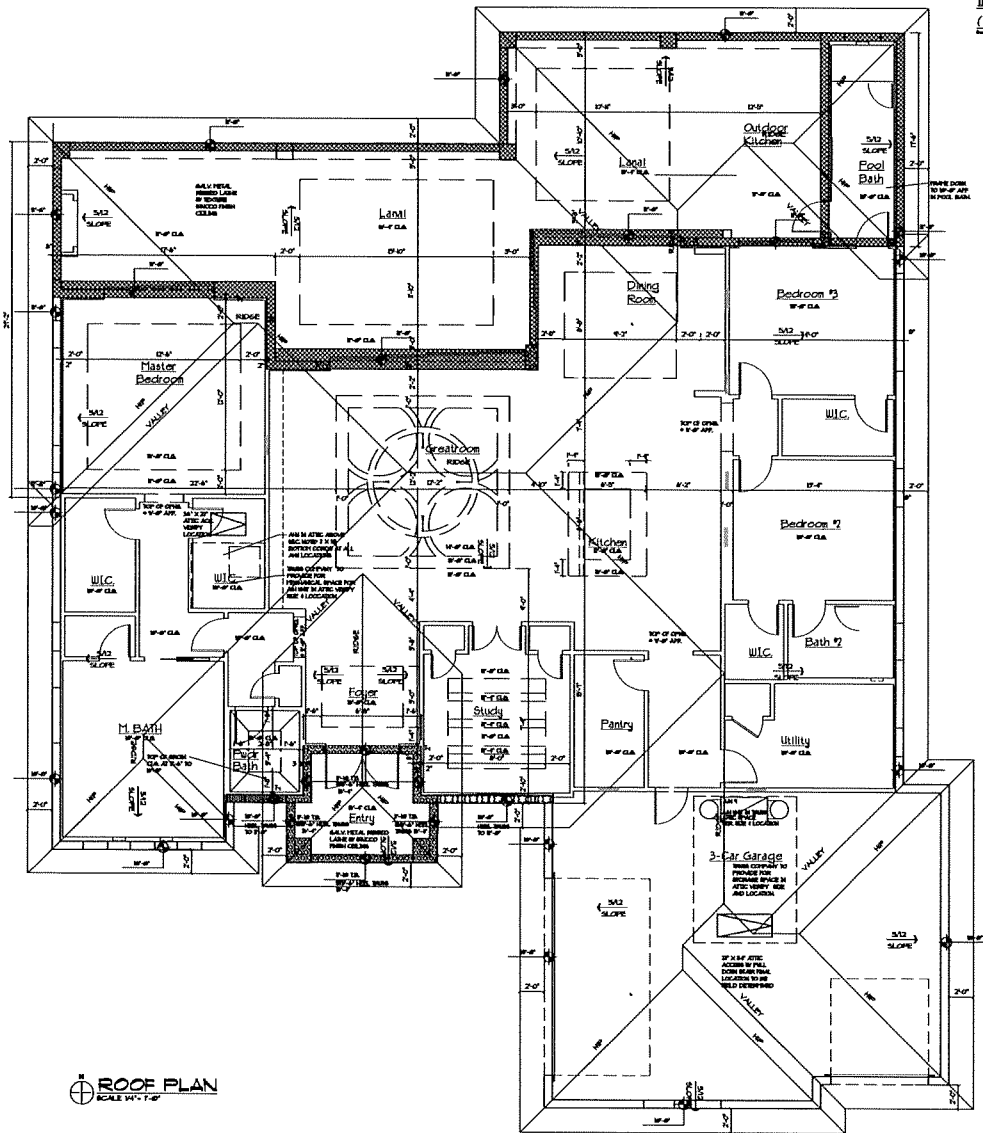
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A New Home for:  
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 Naples Reserve Lot 53  
 14561 Chantreuse Circle  
 Naples, Florida 34114


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 1664  
 Naples Reserve Parcel Csy  
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**A-105**



**ROOF PLAN**  
SCALE 1/4" = 1'-0"

**Intermediate X-Bracing**  
(Max 20'-0")  
SEE DETAIL 1-1

**Typical Valley Connection**  
SEE DETAIL 2-2

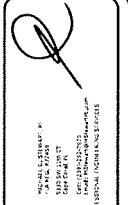
**Bottom Chord Bracing Detail for Pre-Engineered Wood Trusses**  
SEE DETAIL 3-3

**ROOF & WALL NAILING REQUIREMENTS**  
SEE DETAIL 4-4

- ROOF CONSTRUCTION NOTES:**
1. ROOF OVERLAP TO BE 3" MINIMUM NOTED ON DRAWING.
  2. ROOF PITCH TO BE 4:12 OR AS NOTED.
  3. PROVIDE ATTIC VENTS AS SPECIFIED IN WALL SECTIONS.
  4. THE ROOF TRUSSES TO INCLUDE PARALLEL WITH METAL CLIPS, TIE OR STRIPS AS SPECIFIED IN MANUFACTURER'S MANUALS.
  5. FUTURE SHEET OF PLASTER TO BE PLACED & NAIL AS SHOWN ON DRAWING. METAL CLIPS TO BE PLACED & NAIL AS SHOWN ON DRAWING. METAL CLIPS TO BE PLACED & NAIL AS SHOWN ON DRAWING.
  6. PROVIDE ALL INSULATED TRUSS BRACES AS SPECIFIED ON INSULATED TRUSS PLAN.
  7. PROVIDE ALL INSULATED ROOF TRUSSES TO BE SPACED 24" O.C.
  8. PROVIDE APPROVED ANCHORS CAPABLE OF WITHSTANDING UPLIFT LOADS AS PROVIDED BY THE TRUSS MANUFACTURER AT EACH TRUSS TO PROVIDE A CONTINUOUS TENSION OF UPLIFT LOADS FROM TRUSS TO FLOORING.
  9. TRUSS MANUFACTURER TO SUBMIT PROFILES & PLANS, PRIOR TO FABRICATION TO THE CONTRACTOR FOR APPROVAL.
  10. ROOF PLAN FOR GENERAL PURPOSES ONLY.
  11. ALL TRUSSES IN CONTACT WITH PT. BRICK SHALL BE 2X4M COATED OR GALVAL.
  12. ALL TRUSSES TO BEAT CONNECTIONS BETWEEN / METALS 1/2" UP TO 2" DOWN 4" MINIMUM OVERLAP NOTED.
  13. ALL TRUSS CONNECTIONS SHALL BE MADE THROUGH 2" X 4" UPLIFT AND LOAD RESISTIVE AND ARE NOT LESS THAN THE VALLEY LISTED ABOVE FOR UPLIFT.
  14. ATTACH ALL STRIPS WITH CALIBRATED NAILS OF SIZE AND QUANTITY SPECIFIED BY TRUSS MANUFACTURER.
  15. ALL TRUSS CONNECTIONS SHALL BE MADE THROUGH 2" X 4" UPLIFT AND LOAD RESISTIVE AND ARE NOT LESS THAN THE VALLEY LISTED ABOVE FOR UPLIFT.
  16. ATTACH ALL STRIPS WITH CALIBRATED NAILS OF SIZE AND QUANTITY SPECIFIED BY TRUSS MANUFACTURER.
  17. ALL TRUSS CONNECTIONS SHALL BE MADE THROUGH 2" X 4" UPLIFT AND LOAD RESISTIVE AND ARE NOT LESS THAN THE VALLEY LISTED ABOVE FOR UPLIFT.
  18. ROOF TRUSSES SHALL BE NAILED, SPACED, SPLICED, OR OTHERWISE FASTENED & SUPPORTED IN ACCORDANCE WITH THE TRUSS MANUFACTURER'S PRACTICES FOR NAILING, INSTALLING & BRACING METAL PLATE CONNECTED ROOF TRUSSES.

**WALL LEGEND**

[Symbol]	TOP OF BEAM 4" W/ 4" AFF. ABOVE HOUSE FLOOR
[Symbol]	TOP OF BEAM 4" W/ 4" AFF. TO 2" W/ 4" AFF. ABOVE HOUSE FLOOR
[Symbol]	TOP OF BEAM 4" W/ 4" AFF. TO 2" W/ 4" AFF. ABOVE HOUSE FLOOR
[Symbol]	TOP OF BEAM 4" W/ 4" AFF. ABOVE HOUSE FLOOR
[Symbol]	TOP OF BEAM 4" W/ 4" AFF. ABOVE HOUSE FLOOR



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A New Home for:  
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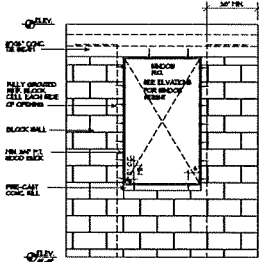

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Naples Reserve Parcel C4	
538700 536801	

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**A-106**

**GENERAL NOTES:**

1. INSTALLATION METHODS FOR WINDOWS AND SLIDING GLASS DOORS IN MASONRY STRUCTURES SHALL BE AS SHOWN ON THESE DETAILS UNLESS INDICATED OTHERWISE. ALL MASONRY INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
2. INSTALLATION METHODS FOR WINDOWS AND SLIDING GLASS DOORS IN CONCRETE STRUCTURES SHALL BE AS SHOWN ON THESE DETAILS UNLESS INDICATED OTHERWISE. ALL CONCRETE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
3. WINDOWS AND SLIDING GLASS DOOR PARTS SHALL BE LOCATED A MINIMUM OF 4" FROM CORNERS AND A MINIMUM OF 4" FROM EDGES UNLESS OTHERWISE SHOWN. ALL UNITS SHALL BE INSTALLED WITH THE MANUFACTURER'S RECOMMENDED CLEARANCES. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
4. SLIDING GLASS DOOR PARTS SHALL BE INSTALLED WITH THE MANUFACTURER'S RECOMMENDED CLEARANCES. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
5. WINDOWS AND SLIDING GLASS DOOR PARTS SHALL BE INSTALLED WITH THE MANUFACTURER'S RECOMMENDED CLEARANCES. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
6. WINDOWS AND SLIDING GLASS DOOR PARTS SHALL BE INSTALLED WITH THE MANUFACTURER'S RECOMMENDED CLEARANCES. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
7. THE PRODUCTS SHOWN ON THESE DETAILS ARE INTENDED FOR USE ON ONE AND TWO SIDE EXTERIOR WALLS ONLY. ANY OTHER USES ARE AT THE USER'S RISK. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
8. WINDOWS AND SLIDING GLASS DOOR PARTS SHALL BE INSTALLED WITH THE MANUFACTURER'S RECOMMENDED CLEARANCES. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)
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BACK JOIST: 3/4" x 4" x 1/2" (1" IF SPECIFIED) AND 1/4" ON CONCRETE.

DETAIL: AS SHOWN ABOVE TO BE USED BY THE ARCHITECT AT THE WINDOW AND SLIDING GLASS DOOR AT CENTER OF TOP AND BOTTOM BACK.

NOTE: SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.

**WINDOW INSTALLATION AND FASTENERS NOTES:**

CONTRACTOR TO VERIFY ALL WINDOW FASTENERS TO BE CORRECTLY SPECIFIED AND INSTALLED TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AS SHOWN ON THESE DETAILS. THE FASTENERS SHALL BE INSTALLED TO THE MANUFACTURER'S RECOMMENDED CLEARANCES. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)

ALL WINDOW FASTENERS SHALL BE PROTECTED FROM CORROSION BY APPLYING AN ANTI-CORROSION COATING TO THE FASTENERS. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)

THE WINDOW FASTENERS SHALL BE INSTALLED WITH THE MANUFACTURER'S RECOMMENDED CLEARANCES. (SEE SPECIFICATIONS SECTION 050500 FOR MORE DETAILS.)

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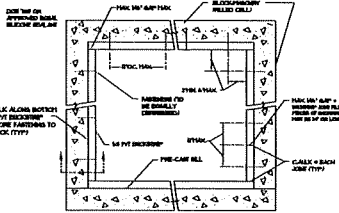
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**Window Schedule**

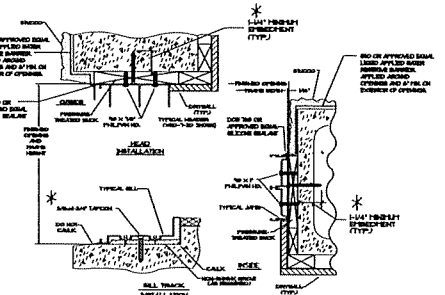
NO.	DESCRIPTION	H.O.	MANUF.	MODEL #	PROTECTION	SW. IN.	REMARKS	PERMANENT (SQ. FT.)	NON-PERMANENT (SQ. FT.)
1	6" x 8" Double Hung	101	PFW	10101	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
2	6" x 8" Double Hung	102	PFW	10102	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
3	6" x 8" Double Hung	103	PFW	10103	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
4	6" x 8" Double Hung	104	PFW	10104	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
5	6" x 8" Double Hung	105	PFW	10105	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
6	6" x 8" Double Hung	106	PFW	10106	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
7	6" x 8" Double Hung	107	PFW	10107	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
8	6" x 8" Double Hung	108	PFW	10108	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
9	6" x 8" Double Hung	109	PFW	10109	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
10	6" x 8" Double Hung	110	PFW	10110	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
11	6" x 8" Double Hung	111	PFW	10111	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
12	6" x 8" Double Hung	112	PFW	10112	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
13	6" x 8" Double Hung	113	PFW	10113	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
14	6" x 8" Double Hung	114	PFW	10114	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
15	6" x 8" Double Hung	115	PFW	10115	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
16	6" x 8" Double Hung	116	PFW	10116	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
17	6" x 8" Double Hung	117	PFW	10117	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
18	6" x 8" Double Hung	118	PFW	10118	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
19	6" x 8" Double Hung	119	PFW	10119	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
20	6" x 8" Double Hung	120	PFW	10120	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.

**Door Schedule**

NO.	DESCRIPTION	H.O.	MANUF.	MODEL #	PROTECTION	SW. IN.	REMARKS	PERMANENT (SQ. FT.)	NON-PERMANENT (SQ. FT.)
1	6" x 8" Double Hung	101	PFW	10101	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
2	6" x 8" Double Hung	102	PFW	10102	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
3	6" x 8" Double Hung	103	PFW	10103	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
4	6" x 8" Double Hung	104	PFW	10104	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
5	6" x 8" Double Hung	105	PFW	10105	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
6	6" x 8" Double Hung	106	PFW	10106	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
7	6" x 8" Double Hung	107	PFW	10107	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
8	6" x 8" Double Hung	108	PFW	10108	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
9	6" x 8" Double Hung	109	PFW	10109	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
10	6" x 8" Double Hung	110	PFW	10110	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
11	6" x 8" Double Hung	111	PFW	10111	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
12	6" x 8" Double Hung	112	PFW	10112	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
13	6" x 8" Double Hung	113	PFW	10113	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
14	6" x 8" Double Hung	114	PFW	10114	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
15	6" x 8" Double Hung	115	PFW	10115	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
16	6" x 8" Double Hung	116	PFW	10116	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
17	6" x 8" Double Hung	117	PFW	10117	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
18	6" x 8" Double Hung	118	PFW	10118	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
19	6" x 8" Double Hung	119	PFW	10119	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.
20	6" x 8" Double Hung	120	PFW	10120	None	None	SEE SCHEDULE	+ 3.00 / - 3.00 sq. ft.	+ 1.50 / - 1.50 sq. ft.

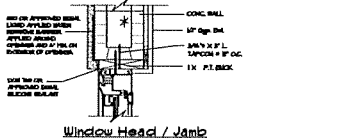


**WINDOW BACK DETAIL**

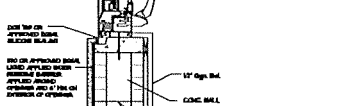


**SLIDING GLASS DOOR MASONRY INSTALLATION (600 WOOD INSTALLATION SIMILAR)**

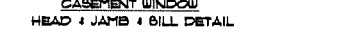
**WOOD BACK INSTALLATION**



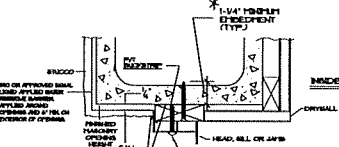
**Window Head / Jamb**



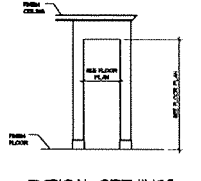
**Window Sill**



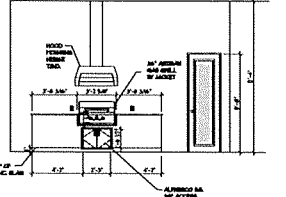
**CASEMENT WINDOW HEAD & JAMB & SILL DETAIL**



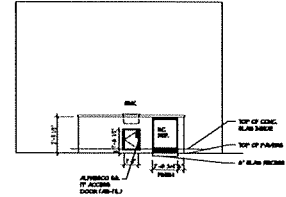
**FIXED WINDOW MASONRY INSTALLATION**



TYPICAL OPENINGS



GRILL AREA ELEVATION



GRILL AREA ELEVATION



**Priskom Residence**  
 14161 Mariposa Avenue, Suite 100  
 Naples, FL 34113  
 Phone: (239) 434-7777  
 Website: www.priskomresidence.com

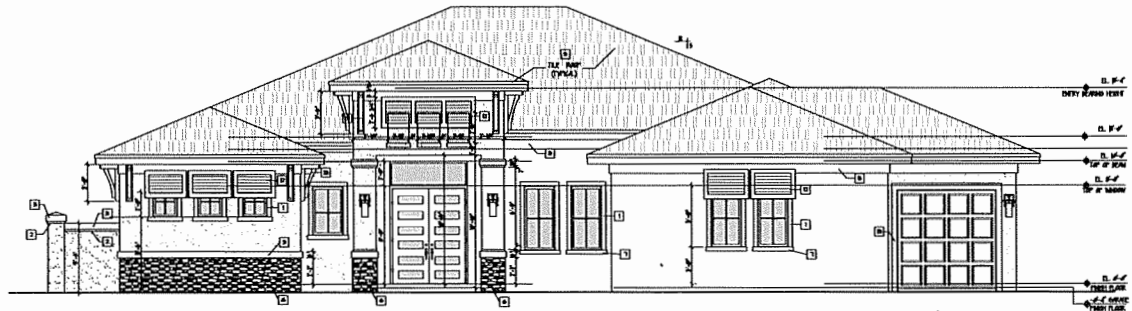
**Florida Specialty Homes**  
 14161 Mariposa Avenue, Suite 100  
 Naples, FL 34113  
 Phone: (239) 434-7777  
 Website: www.floridaspecialtyhomes.com

A New Home for  
**Priskom Residence**  
 Naples Reserve Lot 53  
 14161 Mariposa Avenue, Suite 100  
 Naples, Florida 34113

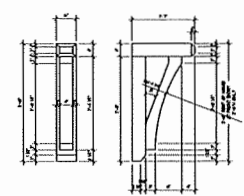
53	
1664	
Naples Reserve Parrot Cay	
538700 536B01	

53	1664
Naples Reserve Parrot Cay	
538700 536B01	

Sheet  
**A-107**



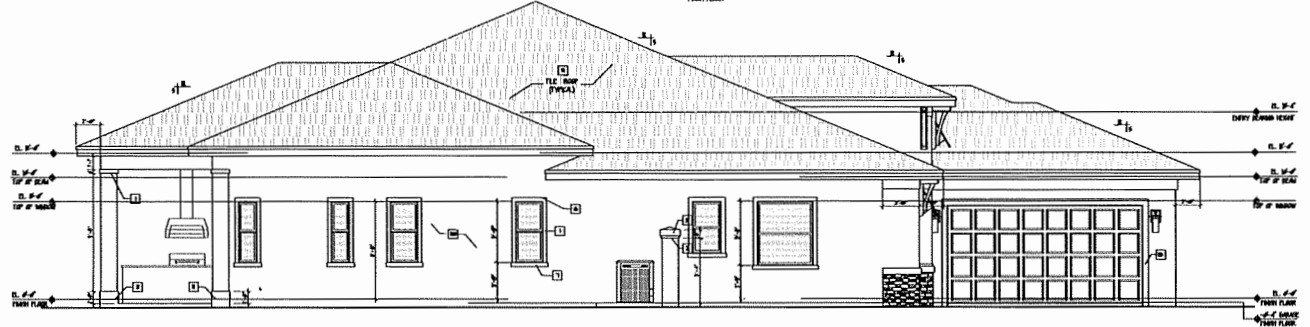
**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



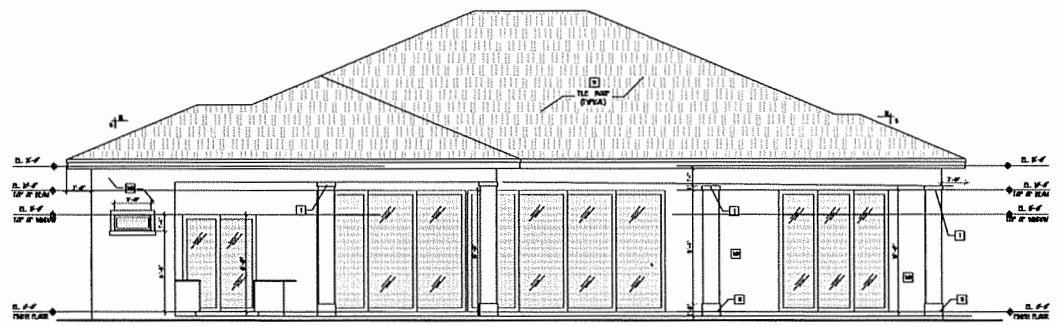
TYPICAL DETAIL

- 1" x 4" MCKE BARNED BRUSH BOARD
- 2" x 4" MCKE BARNED BRUSH BOARD
- 4" x 4" MCKE BARNED BRUSH BOARD
- 6" x 6" MCKE BARNED BRUSH BOARD
- 8" x 8" MCKE BARNED BRUSH BOARD
- BRICK
- 1" x 1" MCKE BARNED BRUSH BOARD
- 2" x 2" MCKE BARNED BRUSH BOARD
- 4" x 4" MCKE BARNED BRUSH BOARD
- 6" x 6" MCKE BARNED BRUSH BOARD
- 8" x 8" MCKE BARNED BRUSH BOARD
- 10" x 10" MCKE BARNED BRUSH BOARD
- 12" x 12" MCKE BARNED BRUSH BOARD
- 14" x 14" MCKE BARNED BRUSH BOARD
- 16" x 16" MCKE BARNED BRUSH BOARD
- 18" x 18" MCKE BARNED BRUSH BOARD
- 20" x 20" MCKE BARNED BRUSH BOARD
- 22" x 22" MCKE BARNED BRUSH BOARD
- 24" x 24" MCKE BARNED BRUSH BOARD
- 26" x 26" MCKE BARNED BRUSH BOARD
- 28" x 28" MCKE BARNED BRUSH BOARD
- 30" x 30" MCKE BARNED BRUSH BOARD
- 32" x 32" MCKE BARNED BRUSH BOARD
- 34" x 34" MCKE BARNED BRUSH BOARD
- 36" x 36" MCKE BARNED BRUSH BOARD
- 38" x 38" MCKE BARNED BRUSH BOARD
- 40" x 40" MCKE BARNED BRUSH BOARD
- 42" x 42" MCKE BARNED BRUSH BOARD
- 44" x 44" MCKE BARNED BRUSH BOARD
- 46" x 46" MCKE BARNED BRUSH BOARD
- 48" x 48" MCKE BARNED BRUSH BOARD
- 50" x 50" MCKE BARNED BRUSH BOARD
- 52" x 52" MCKE BARNED BRUSH BOARD
- 54" x 54" MCKE BARNED BRUSH BOARD
- 56" x 56" MCKE BARNED BRUSH BOARD
- 58" x 58" MCKE BARNED BRUSH BOARD
- 60" x 60" MCKE BARNED BRUSH BOARD
- 62" x 62" MCKE BARNED BRUSH BOARD
- 64" x 64" MCKE BARNED BRUSH BOARD
- 66" x 66" MCKE BARNED BRUSH BOARD
- 68" x 68" MCKE BARNED BRUSH BOARD
- 70" x 70" MCKE BARNED BRUSH BOARD
- 72" x 72" MCKE BARNED BRUSH BOARD
- 74" x 74" MCKE BARNED BRUSH BOARD
- 76" x 76" MCKE BARNED BRUSH BOARD
- 78" x 78" MCKE BARNED BRUSH BOARD
- 80" x 80" MCKE BARNED BRUSH BOARD
- 82" x 82" MCKE BARNED BRUSH BOARD
- 84" x 84" MCKE BARNED BRUSH BOARD
- 86" x 86" MCKE BARNED BRUSH BOARD
- 88" x 88" MCKE BARNED BRUSH BOARD
- 90" x 90" MCKE BARNED BRUSH BOARD
- 92" x 92" MCKE BARNED BRUSH BOARD
- 94" x 94" MCKE BARNED BRUSH BOARD
- 96" x 96" MCKE BARNED BRUSH BOARD
- 98" x 98" MCKE BARNED BRUSH BOARD
- 100" x 100" MCKE BARNED BRUSH BOARD

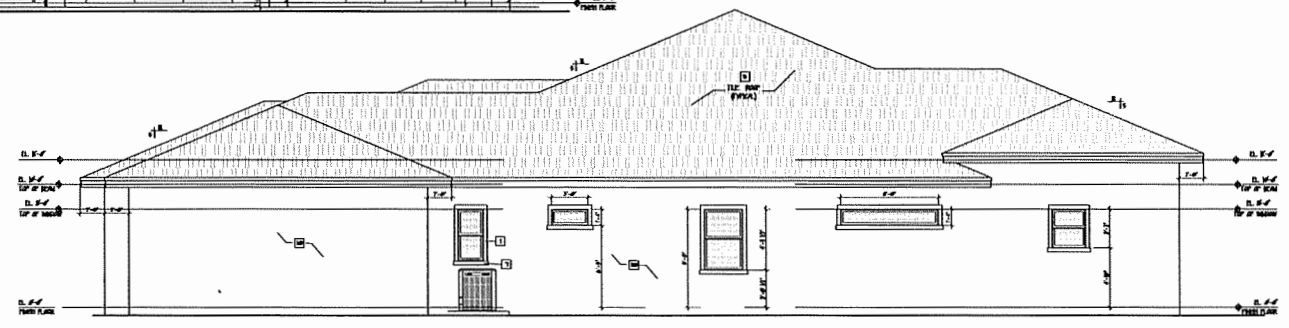
NOTE: ALL APPROVED BRUSH BOARD MATERIAL SHALL BE 2 FEET OR AT THE BOARD.



**LEFT ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE 1/4" = 1'-0"



MICHAEL D. STEWART, P.E.  
P.E. #7259

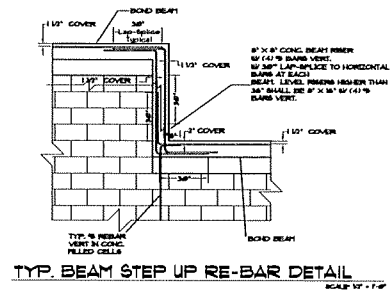


14111 Manzanilla Avenue, Suite 100  
Naples, Florida 34109  
Phone: (239) 441-1111 Fax: (239) 441-7124  
www.floridastylehomes.com

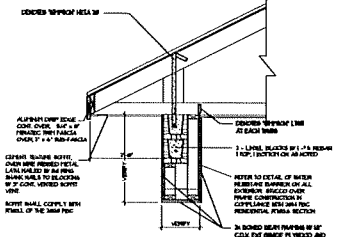
A New Home for:  
**Priskom Residence**  
Naples Reserve Lot 53  
14361 Charthouse Circle  
Naples, Florida 34114


53	1664
Naples Reserve Palm Cay	
538700 536001	

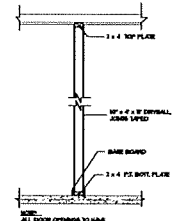
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A-108



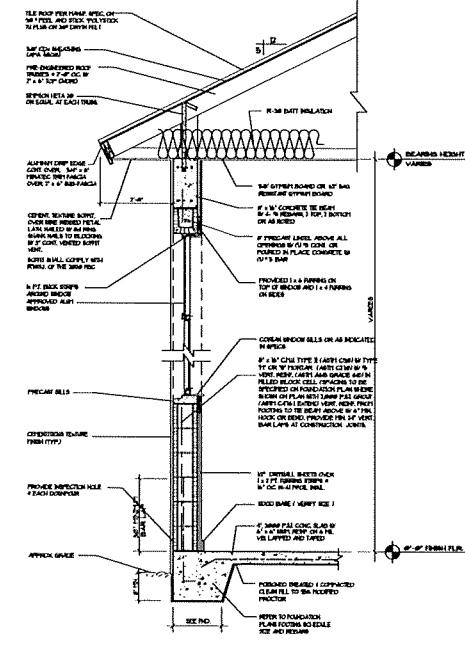
TYP. BEAM STEP UP RE-BAR DETAIL  
SCALE: 1/4" = 1'-0"



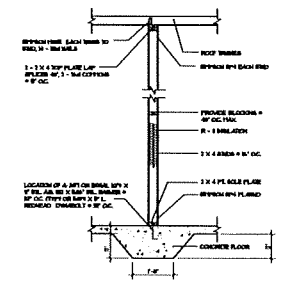
3 TYP. BEAM/BOX BEAM DTL  
SCALE: 1/4" = 1'-0"



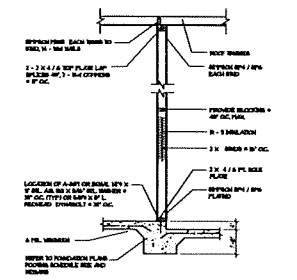
TYP. NON-LOAD BRG. WALL  
SCALE: 1/4" = 1'-0"



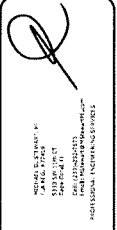
1 TYPICAL WALL SECTION  
SCALE: 3/8" = 1'-0"



TYP. INTERIOR BEARING WALL  
SCALE: 1/4" = 1'-0"



2 TYPICAL BEARING WALL @ GARAGE  
SCALE: 1/4" = 1'-0"



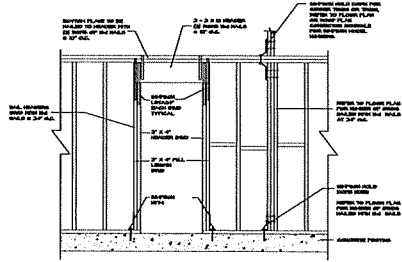
MICHAEL D. STEWART, P.E.  
P.E. #7259

Prismark Systems  
14111 International Avenue, Suite 100  
Naples, Florida 34109  
Ph: 239-434-5411 Fax: 239-434-5414  
www.PrismarkSystems.com

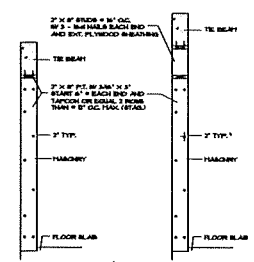
A New Home for  
**Prismark Residence**  
Naples Reserve Lot 53  
14361 Chantrelle Circle  
Naples, Florida 34114


53  
1664  
Naples Reserve Palm Co.  
538700 536B01

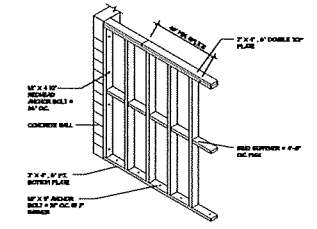
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A-109



HEADER DETAIL & TRUSS GIRDER CONNECTION  
N/A

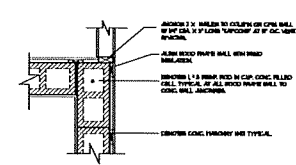


PASS DOOR  
N/A

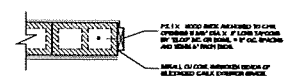


BEARING WALL DETAIL  
N/A

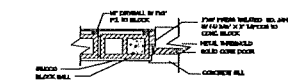
- NOTES
- BURST BACK PLATE WITH 2 - 2# BARS @ 4\"/>



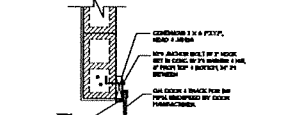
TYP. FRAME WALL / CMU WALL CONNECTION  
SCALE 1/2\"/>



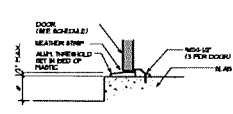
TYP. WINDOW & DOOR BUCK DETAIL  
SCALE 1/2\"/>



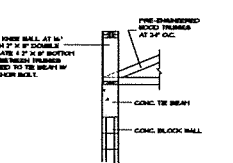
DOOR JAM TO BLOCK DETAIL  
SCALE 1/2\"/>



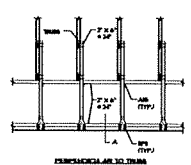
TYP. GARAGE DOOR DETAIL  
SCALE 1/2\"/>



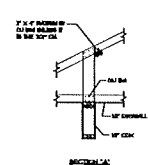
TYP. EXT. DOOR THRESHOLD DETAIL  
SCALE 1/2\"/>



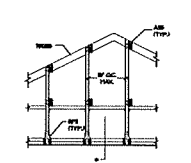
FRAME KNEEWALL DETAILS



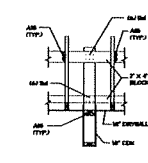
PLAN VIEW



SECTIONAL

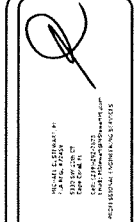


PLAN VIEW



SECTIONAL

SLIDING GLASS DOOR DOOR HEADER DTL.  
NOT TO SCALE



Michael D. Stewart, P.E.  
14361 Priskom Avenue, Suite 100  
Naples, Florida 34114  
Tel: (239) 434-1111  
Fax: (239) 434-1112  
www.foundationsolutions.com

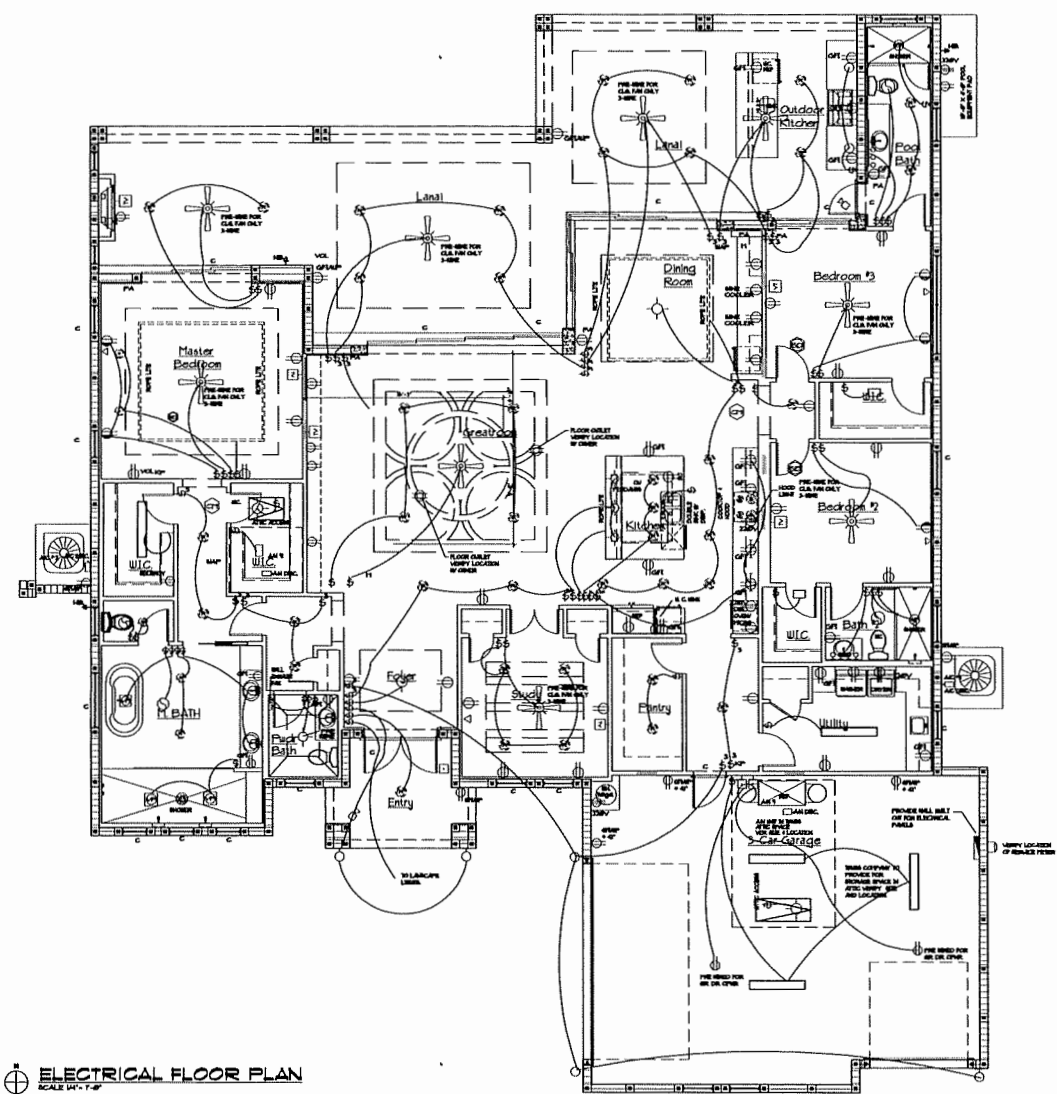


A New Home for:  
**Priskom**  
Naples Reserve Lot 53  
14361 Chantrelle Circle  
Naples, Florida 34114



53		
1664		
Naples Reserve Parcel C-1		
538700	536801	

Sheet  
A-110  
D.K.Z.  
Date: 2/25/2014  
User: DEK/MT



**ELECTRICAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**ELECTRICAL NOTES**

1. ALL ELECTRICAL TO MEET REG.
2. PROVIDE AND OFFER SCHEDULE THESE SPACE REQUIREMENTS WHERE LOCATED.
3. PROVIDE ALL CONDUIT WORK.
4. CONTRACTOR TO VERIFY ALL ROOMS AND APPLIANCES.
5. CONTRACTOR TO MAKE WELD LEGS TO DO ELECTRICAL WORK.
6. PROVIDE TO REPAIR ELECTRICAL WORK TO GUARANTEE REG.
7. ALL LINES AND RECEPTS SHALL BE PROVIDED BY AN A.C. MOUNT CIRCULATING SYSTEM.
8. PROVIDE ONE CIRCUIT OF CIRCUIT BREAKERS FOR EACH ROOM, THESE CIRCUITS SHALL BE INSTALLED IN EACH BEDROOM AND IN ALL OTHER ROOMS EXCEPT BATHS, KITCHEN, HALL, AND ON ALL OUTSIDE ROOMS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CODES AND ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR. ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR AND NOT PROVIDED BY THE OWNER OR BY AN A.C. MOUNT CIRCULATING SYSTEM.
9. PROVIDE ONE CIRCUIT BREAKER FOR EACH ROOM, THESE CIRCUITS SHALL BE INSTALLED IN EACH BEDROOM AND IN ALL OTHER ROOMS EXCEPT BATHS, KITCHEN, HALL, AND ON ALL OUTSIDE ROOMS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CODES AND ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR. ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR AND NOT PROVIDED BY THE OWNER OR BY AN A.C. MOUNT CIRCULATING SYSTEM.
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15. PROVIDE ONE CIRCUIT BREAKER FOR EACH ROOM, THESE CIRCUITS SHALL BE INSTALLED IN EACH BEDROOM AND IN ALL OTHER ROOMS EXCEPT BATHS, KITCHEN, HALL, AND ON ALL OUTSIDE ROOMS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CODES AND ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR. ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR AND NOT PROVIDED BY THE OWNER OR BY AN A.C. MOUNT CIRCULATING SYSTEM.
16. PROVIDE ONE CIRCUIT BREAKER FOR EACH ROOM, THESE CIRCUITS SHALL BE INSTALLED IN EACH BEDROOM AND IN ALL OTHER ROOMS EXCEPT BATHS, KITCHEN, HALL, AND ON ALL OUTSIDE ROOMS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL CODES AND ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR. ALL WORK SHALL BE PROVIDED BY THE CONTRACTOR AND NOT PROVIDED BY THE OWNER OR BY AN A.C. MOUNT CIRCULATING SYSTEM.
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**NOTE:**  
COORDINATE ON TV, CABLE TV, FLOORING, etc.  
CABLE IN CONDUIT SHALL MATCH COLOR ON B.S.E.  
RECORD LINES IN BOND CABLES TO MATCH ROOM COLOR OR B.S.E.  
ALL RECORD LINES SHALL BE LEAD.

**LOW VOLTAGE KEY**

- ☐ CAMERA
- ☐ SECURITY MESH
- ☐ SECURITY KEYPAD
- ☐ FIREWORK DETECTOR
- ☐ CONTACT SWITCH
- ☐ FALL COVER / WINDOW
- ☐ POOL ALARM
- ☐ WATERLEAK / ACCESS POINT
- ☐ SPEAKER
- ☐ VOLTAGE CONTROL

EXACT LOCATIONS TO BE DETERMINED IN THE FIELD DUE TO FIELD CONDITIONS

BASE: C.I. - 2 INCHES  
C.I. - 1/2 INCH  
C.I. - 1/4 INCH  
C.I. - 1/8 INCH

**ELECTRICAL KEY**

- ☐ DUPLEX OUTLET
- ☐ GROUNDING OUTLET
- ☐ W/PLT RECEPT OUTLET
- ☐ FLOOR OUTLET
- ☐ BREAKER PANEL OUTLET
- ☐ BREAKER PROOF OUTLET
- ☐ 200V OUTLET
- ☐ EXHAUST FAN
- ☐ EXHAUST FAN / LIGHT
- ☐ HEAT / LIGHT / EXHAUST FAN
- ☐ RECESSED CAN LIGHT
- ☐ LOCKED PANEL LIGHT
- ☐ SYMBOL LIGHT CAN, VERIFY BY OWNER
- ☐ VOLTAGE PROTECTED LIGHT
- ☐ BALL LIGHT
- ☐ BALL, RECESS LIGHT
- ☐ BALL SWITCH
- ☐ 2-WAY SWITCH
- ☐ 3-WAY SWITCH
- ☐ 4-WAY SWITCH
- ☐ CABLE TV JACK
- ☐ DATA POINT
- ☐ SWITCH
- ☐ PHONE JACK
- ☐ SMOKE DETECTOR
- ☐ SMOKE / GROUND PROTECTED DETECTOR
- ☐ ELECTRICAL PANEL
- ☐ DISCONNECT SWITCH
- ☐ ELECTRIC METER
- ☐ CONTACT WIRE
- ☐ LOWER / UPPER CABINET LIGHTS REARSEARCH FOR LED
- ☐ 1/2" (1) BULB FLUORESCENT
- ☐ 1/2" (2) BULB FLUORESCENT
- ☐ VARY LIGHTS
- ☐ FLOOD LIGHT
- ☐ CEILING FAN
- ☐ CEILING FAN BY LIGHT
- ☐ SECURITY ALARM KEYPAD
- ☐ POOL KEYPAD
- ☐ JUNCTION BOX
- ☐ SPEAKERS LOCATION TYPED
- ☐ REPAIR PANELS REFER TO SPEC. INT.
- ☐ VOLTAGE CONTROL FOR SPEAKERS
- ☐ GARRAGE DOOR KEYPAD
- ☐ SECURITY SYSTEM

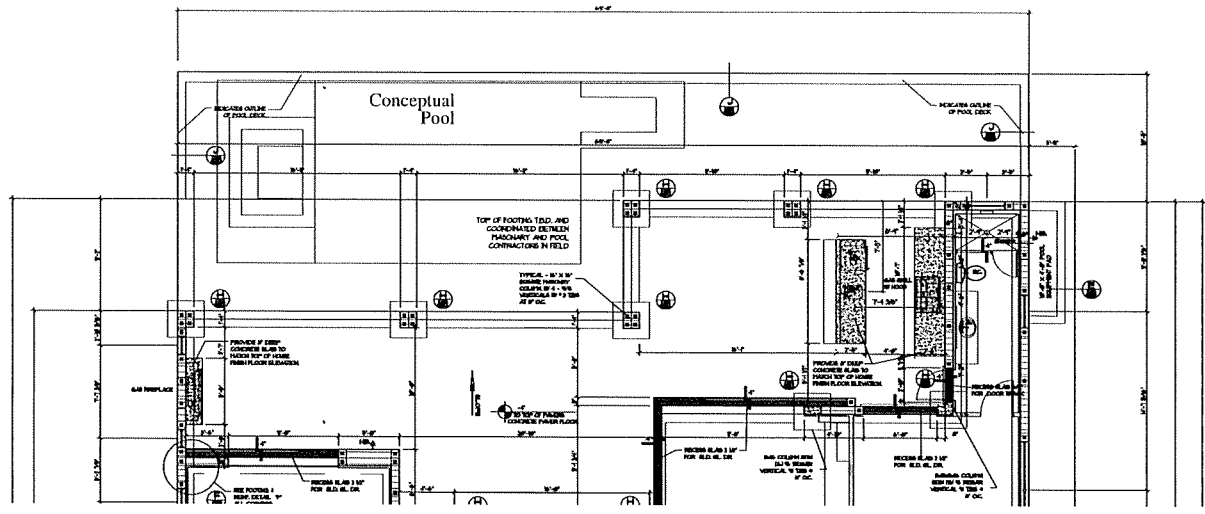
MECHANICAL DESIGNER  
1431 CHAIRHOUSE CIRCLE  
NAPLES, FLORIDA 34114  
TEL: 239-444-4444  
WWW.FINALDESIGN.COM

**Final Design Plans**  
1431 CHAIRHOUSE CIRCLE  
NAPLES, FLORIDA 34114  
TEL: 239-444-4444  
WWW.FINALDESIGN.COM

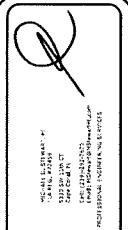
MECHANICAL DESIGNER  
1431 CHAIRHOUSE CIRCLE  
NAPLES, FLORIDA 34114  
TEL: 239-444-4444  
WWW.FINALDESIGN.COM

**A New Home for:**  
**Priskorn Residence**  
Naples Reserve Lot 53  
14361 Chairhouse Circle  
Naples, Florida 34114


53  
1664  
Naples Reserve Permit Co.  
538700 536801



**POOL DECK AREA FLOOR**  
SCALE 1/4" = 1'-0"



NO. 25459  
STATE OF FLORIDA  
MICHAEL D. STEWART, P.E.  
P.E. #25459



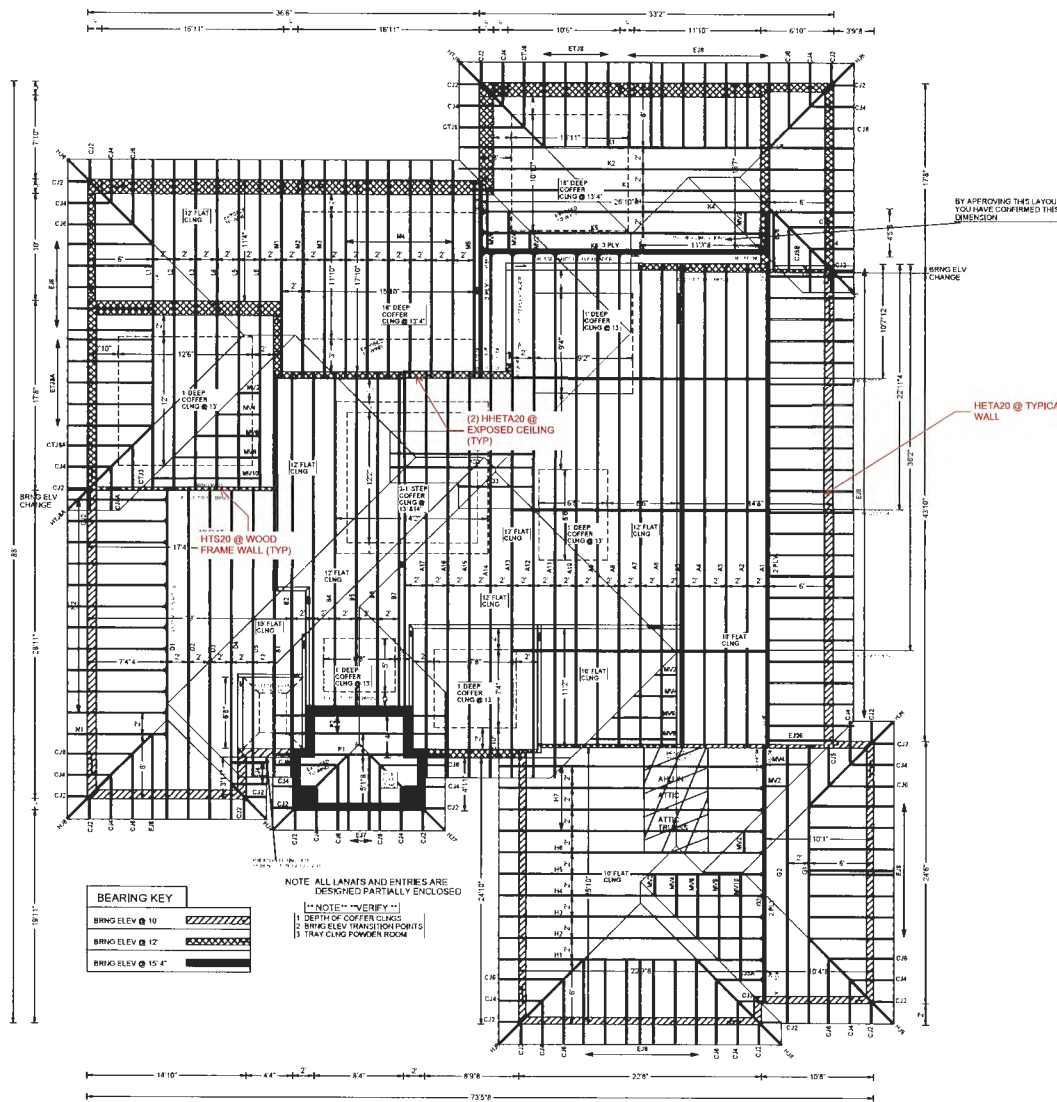
FLORIDA LANDSCAPING & NURSERIES, INC.  
14311 NAPLES PARKWAY, SUITE 100  
NAPLES, FLORIDA 34109  
PH: 239-444-1414 FAX: 239-444-1434  
WWW.FLORIDALANDSCAPING.COM

A New Home for:  
**Priskorn Residence**  
Naples Reserve Lot 53  
14361, Charthouse Circle  
Naples, Florida 34114


53	1664
Naples Reserve Parcel C4	
538700 536B01	

Drawn by D.R.Z.	Sheet A-112
Date 5/28/2021	



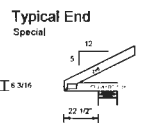


**BEARING KEY**

BRNG ELEV @ 10'	[Pattern]
BRNG ELEV @ 12'	[Pattern]
BRNG ELEV @ 15'	[Pattern]

NOTE: ALL LANAI'S AND ENTRIES ARE DESIGNED PARTIALLY ENCLOSED

NOTE: VERIFY --  
 1 DEPTH OF COFFER CLINGS  
 2 BRNG ELEV. HANGING POINTS  
 3 TRAY CLING POWDER ROOM



**MICHAEL D. STEWART, PE**  
 5390 SW 15TH CT  
 CAPE CORAL, FL 33914  
 239-292-7670

REVIEWED  
 REVIEWED AS NOTED  
 REVISE AND RESUBMIT  
 REJECTED  
 FOR INFORMATION ONLY

COORDINATION REQUIRED BETWEEN ALL TRADES PRIOR TO ORDERING EQUIPMENT. THIS PRODUCT SUBMITTAL IS TO ENSURE GENERAL COMPLIANCE ONLY AND DOES NOT RELIEVE THE CONTRACTOR OF COMPLIANCE WITH THE ORIGINAL CONSTRUCTION DOCUMENT SPECIFICATIONS, DRAWINGS, OR AGREEMENTS BETWEEN OWNER AND GENERAL CONTRACTOR. QUANTITIES HAVE NOT BEEN REVIEWED AS PART OF THIS SUBMITTAL. PLEASE NOTE COMMENTS BELOW OR AS MARKED WITHIN THIS SUBMITTAL.

BY MDS DATE 8/16/2021

Dimensions Over 2000 Lbs and 1/8th Over 1000 Lbs are Listed on the Layout

**Hanger Key**

(H)HUS24	(H)HUS26	(H)HUS28
(H)HUS30	(H)HUS32	(H)HUS34
(H)HUS36	(H)HUS38	(H)HUS40
(H)HUS42	(H)HUS44	(H)HUS46
(H)HUS48	(H)HUS50	(H)HUS52

Types: (H) = Hanger Symbol Denotes  
 Types: (C) = Truss Connections  
 (H) = All Hangers are HUS26 Unless Otherwise Noted.

**IBC 2020 7TH EDITION/ TPI 2014**  
**APPROVED AND COMMENTS & CLADDING**

Wind Load Type: ASCE 7-16  
 Building Type: Enclosed  
 Building Exposure: Cat II Residential 1.0  
 Basic Wind Speed with 10 min Recurrence Interval and 30 PSF: 140 mph  
 Design Wind Speed with 30 min Recurrence Interval and 30 PSF: 170 mph

GRAVITY	TC DL	WIND
TC LL 20 PSF	OC DL 5 PSF	OC DL 5 PSF
TC DL 20 PSF	BC DL 10 PSF	TOTAL 10 PSF
TC LL 10 PSF		
TOTAL 50 PSF		

DURATION = 1.25 WIND = 170 mph

Spacing 24" O.C. Unless Otherwise Noted.

Your Signature Will Acknowledge:  
 1. Installation per FABRIC-0304.  
 2. Verification of ALL Dimensions, Conditions, and Materials with the CONTRACTOR.  
 3. Acceptance with 100% Precision and Plan to be 100% responsibility to each other.  
 4. Protection of Access per THE B-606 (B-15) #1.  
 5. ALL personnel and temporary loading in CONTRACTOR'S responsibility.  
 6. Any failure in Ceiling may NOT proceed until the problem is resolved by the CONTRACTOR.  
 7. No work changes or items changed without written approval from MICHAEL D. STEWART, PE in writing by Trade Permit Hangerman.  
 8. The HANGER & CLING SHALL BE INSTALLED PER THE IBC 2020 and ASCE 7-16. All work shall be done in accordance with the IBC 2020 and ASCE 7-16.

Signed: \_\_\_\_\_  
 Date: \_\_\_\_\_

**Revisions**

#	Date	Remarks	By

**RAYMOND**  
 BUILDING SUPPLY

North Fort Myers  
 7715 Broadway Rd  
 Naples, FL 34109  
 239-221-4200  
 239-221-4205


North Fort  
 7414th Ave SW  
 Naples, FL 34109  
 239-221-4200

**Job Information**

RHS# : 210536696  
 Builder : FLORIDA LIFESTYLE HOMES  
 Owner : Priskorn Residence  
 County : COLLIER  
 City : Naples  
 Address : 14381 Charthouse Circle  
 Lot :  
 Block :  
 Sub :  
 Model :  
 Roof Covering : TILE-SHINGLE  
 Scale : 3/16" = 1'-0"  
 Date : August 2, 2021  
 Drawn By : Pat Moss

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**5D**

**From:** Naples Reserve DRC [naplesreservedrc@gmail.com](mailto:naplesreservedrc@gmail.com)   
**Subject:** 14361 Charthouse Circle Lot 53 Pool Application Approval  
**Date:** June 23, 2022 at 10:30 PM  
**To:** Rhonda Severance [Rhonda@flhfl.com](mailto:Rhonda@flhfl.com)  
**Cc:** Claudia Woods [claudia.e.woods@gmail.com](mailto:claudia.e.woods@gmail.com), Donald Skenderian [donskins@gmail.com](mailto:donskins@gmail.com)

ND

Hello Rhonda,

The Naples Reserve Design Review Committee has reviewed the pool project for Lot 53 at 14361 Charthouse Circle and has approved the project. Please submit the pool and screen enclosure permits to us when it has been issued. Also please provide the landscaping plan for this project.

Thank you,

Lisa Wild

Naples Reserve Design Review Committee Co Chairperson



Date: 6.23.22

To: Florida Lifestyle Homes

Address: 14361 Charthouse Circle

Project: Pool and Enclosure

Your Design review application has been APPROVED.

Please be mindful while your project is in progress, your neighbor's lot(s) should not be used as areas to station equipment or to pile supplies for your project. In the event your neighbor sustains damage from your project on their lot, you are responsible to resolve this issue directly with your neighbor and your vendor.

Once your project is completed, please notify the DRC by email at: [naplesreservedrc@gmail.com](mailto:naplesreservedrc@gmail.com).

If your approved project should be modified in any way from the original approved application, you must submit a revised plan before your project is inspected. We understand that projects don't always go as planned and we request notification of that change to avoid compliance issues.

The Design Review Committee will schedule a date and time to come out and inspect the common areas and the project within 30 days of the HOA offices receiving your email. Residents must send an email. Voicemail or in person visits informing the HOA offices of a completed project will not be accepted.

You DO NOT need to be home for the inspection. The inspection is to ensure the project is completed, completed within the scope of work approved in your application, and to also ensure the common areas, sidewalks, turf, and other HOA common easement areas did not sustain any damage.

Once the inspection is completed by the Design Review Committee, the HOA offices will notify you via email of the completed inspection and begin the refund process of your security deposit. Please allow 30 days to receive your refund check, which will arrive via postal service. The refund check will be sent to the address on your application unless otherwise specified.

Thank you,

Naples Reserve Design Review Committee

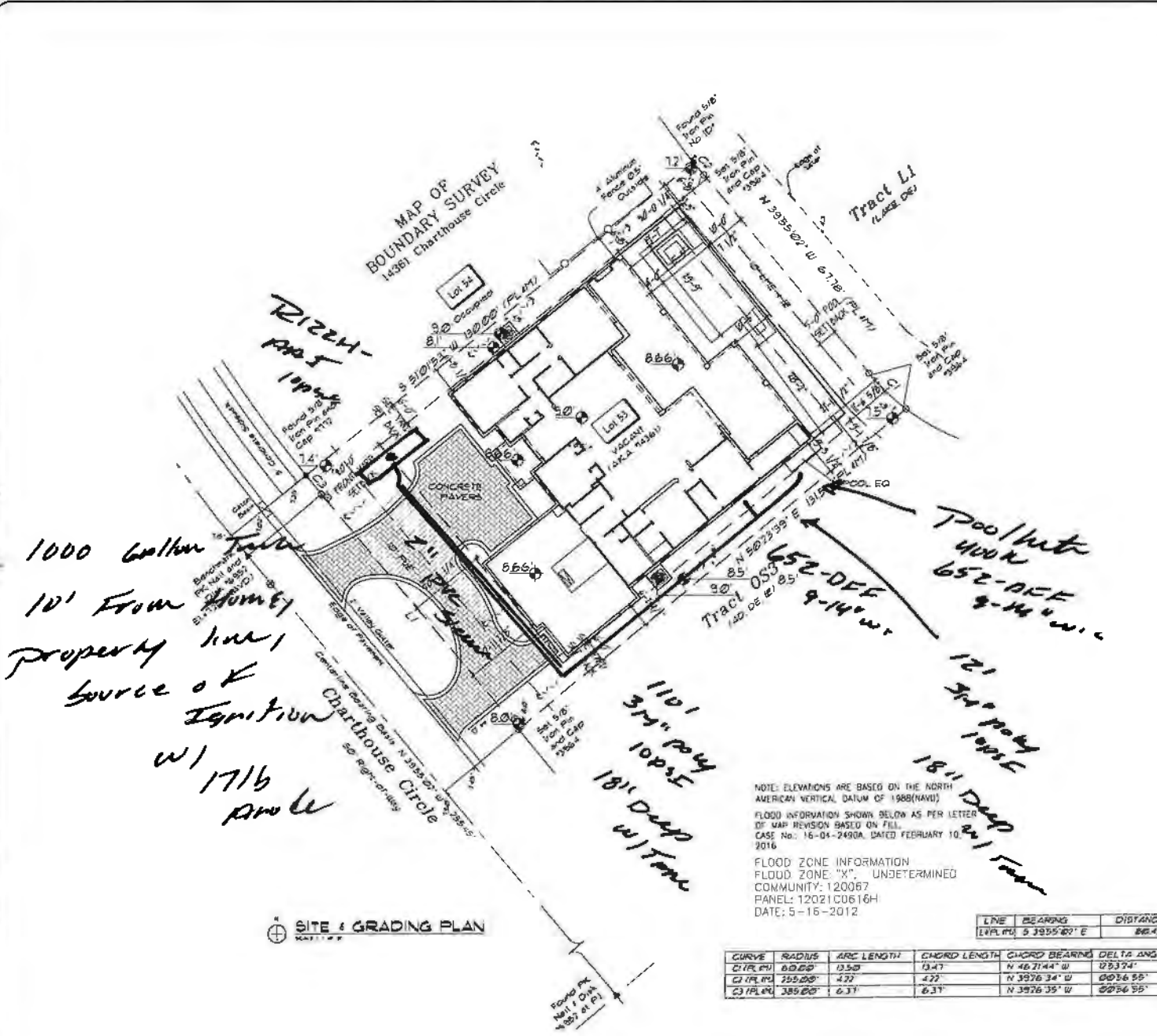
**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**5 E**

Florida Lifestyle  
14361 Chawthase Cir  
Prishorn Res.

Propane Gas Plans

All American Gas + Plumbing



**SITE & GRADING PLAN**

NOTE: ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).  
 FLOOD INFORMATION SHOWN BELOW AS PER LETTER OF MAP REVISION BASED ON FEL.  
 CASE No: 16-04-2490A, DATED FEBRUARY 10, 2016.  
 FLOOD ZONE INFORMATION  
 FLOOD ZONE: "X", UNDETERMINED  
 COMMUNITY: 120067  
 PANEL: 12021 C0616H  
 DATE: 5-16-2012

LINE	BEARING	DISTANCE
EVAL. NO.	S 3955'02" E	86.45'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PLR)	60.00'	0.50'	0.47'	N 46 21'44" W	223.94'
C2 (PLR)	250.00'	4.22'	4.22'	N 39 26' 34" W	2056.55'
C3 (PLR)	380.00'	6.37'	6.37'	N 39 26' 35" W	2256.55'



Professional Seal of Michael D. Steinmeyer, Licensed Professional Surveyor, License No. 12539, State of Florida.

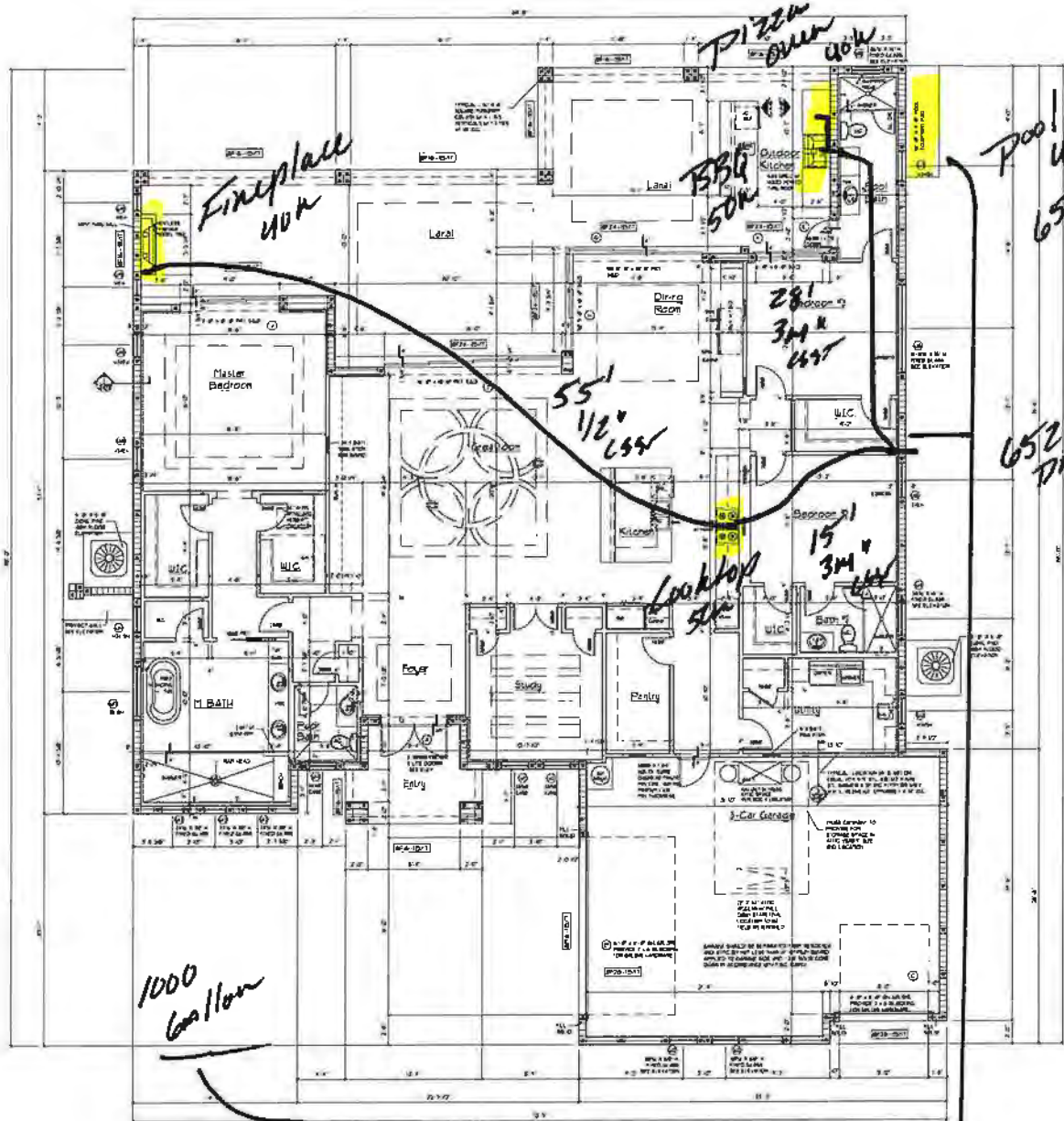


A New Home for:  
**Priskorn Residence**  
 Naples Reserve Lot 53  
 14561 Charthouse Circle  
 Naples, Florida 34114

--	--	--	--

1664  
 Naples Reserve (Palm Cay)  
 Project No. 538700-536B01

Sheet  
**A-101**



**WALL LEGEND**

	5/8\"
	1/2\"
	1/4\"
	1/8\"

**AREA'S**

1. CON. LIVING	384.00 SQ. FT.
2. CON. DINING	288.00 SQ. FT.
3. CON. KITCHEN	288.00 SQ. FT.
4. CON. BATH	144.00 SQ. FT.
5. CON. BEDRM	384.00 SQ. FT.
6. CON. GARAGE	1152.00 SQ. FT.
7. CON. PORCH	144.00 SQ. FT.
8. CON. PATIO	144.00 SQ. FT.
9. CON. DECK	144.00 SQ. FT.
10. CON. STAIRS	144.00 SQ. FT.
11. CON. HALL	144.00 SQ. FT.
12. CON. ENTRY	144.00 SQ. FT.
13. CON. CLOSET	144.00 SQ. FT.
14. CON. PORCH	144.00 SQ. FT.
15. CON. PATIO	144.00 SQ. FT.
16. CON. DECK	144.00 SQ. FT.
17. CON. STAIRS	144.00 SQ. FT.
18. CON. HALL	144.00 SQ. FT.
19. CON. ENTRY	144.00 SQ. FT.
20. CON. CLOSET	144.00 SQ. FT.

**PRECAS\* LINTEL**

NO.	TYPE	SIZE	LOCATION

NOTE: PRECAS\* LINTEL SHALL BE MANUFACTURED BY GARY CRUTE OR EQUAL AND SHALL BE SHOWN ON PLAN.

PROJECT NO. 1000000000  
 DATE: 10/1/10  
 DRAWN BY: J. STEWART  
 CHECKED BY: J. STEWART  
 PROJECT: PRISKOM RESIDENCE

MICHAEL D. STEWART, P.E.  
 P.E. #1200

**Florida Landscape Planes**  
 14301 South Pineapple Avenue, Suite 100  
 Ft. Lauderdale, Florida 33325  
 Phone: 305.440.0100 Fax: 305.440.0104  
 www.floridalandscapew.com

A New Home for:  
**Priskom Residence**  
 Naples Reserve Lot 53  
 14361 Chantebonne Circle  
 Naples, Florida 34114


Sheet  
 1664  
 Naples Reserve Parcel C  
 538700 536801

Sheet  
 A-104

**FLOOR PLAN**  
 MADE IN U.S.A.

NOTE: ALL PRECAS\* LINTELS SHALL BE 8\"/>

NOTE: CONTRACTOR SHALL VERIFY ALL "LOADING" CONDITIONS FOR STRUCTURE TO BE INSTALLED. VERIFY ALL APPLICABLE CODES.

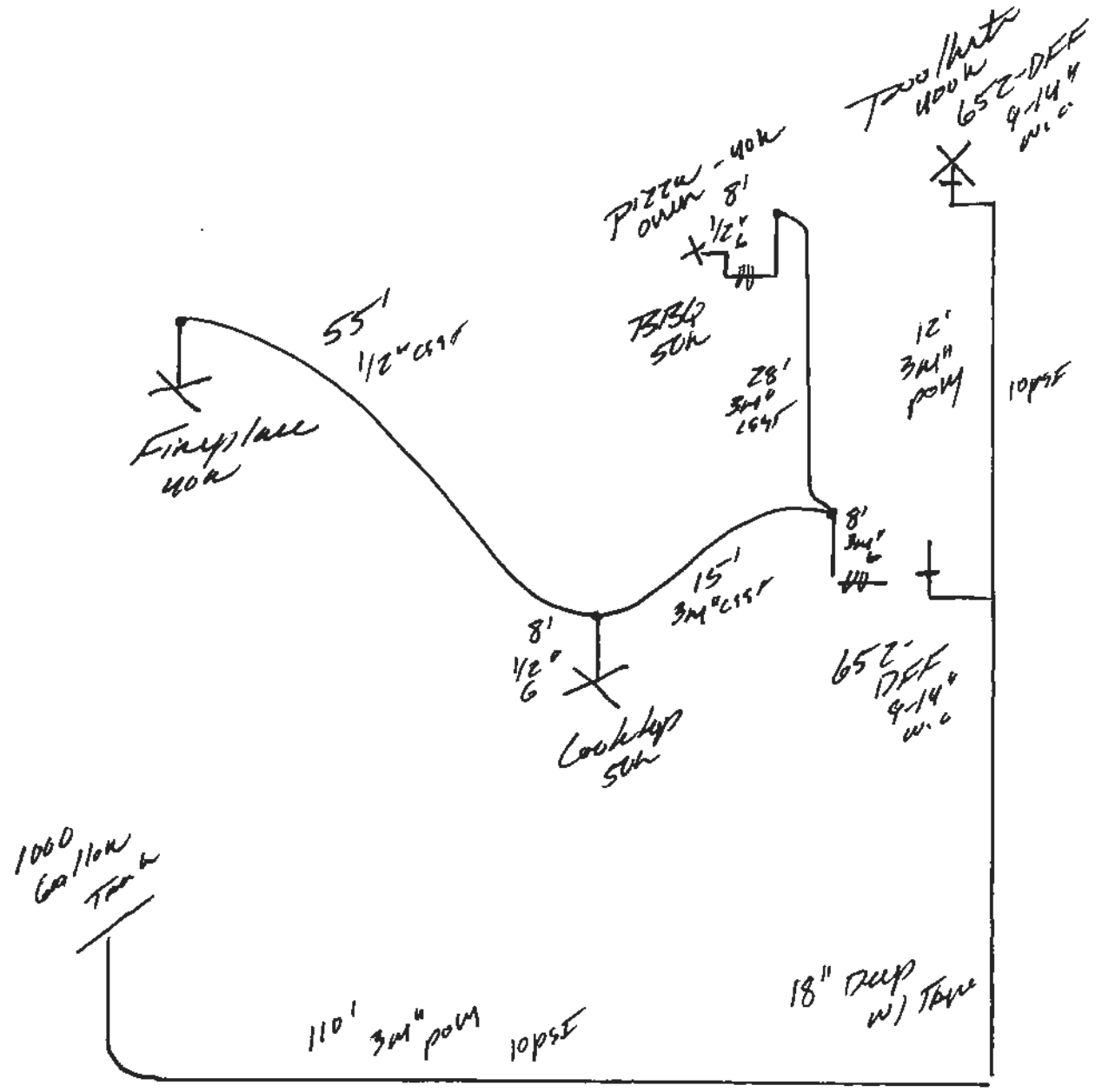
NOTE: SEE ALL 4\"/>

**COMPLIANCE STATEMENT**  
 THE DRAWING CONTRACTOR HAS BEEN ADVISED BY THE DESIGN PROFESSIONAL THAT THE DESIGN OF THIS PROJECT IS THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL. THE CONTRACTOR SHALL VERIFY ALL "LOADING" CONDITIONS FOR STRUCTURE TO BE INSTALLED. VERIFY ALL APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

All American Gas & Plumbing Inc.

6320 ARC WAY  
FORT MYERS, FL 33912  
(239) 481 - 5500 ~ (239) 481 - 5300  
LPG 31625 CFC044163

OWNER: Florida Lifestyle  
NAME: Priskorn Res  
ADDRESS: 14361 Chert House  
Ln  
PHONE: \_\_\_\_\_  
STRAP: \_\_\_\_\_  
BLOCK: \_\_\_\_\_ LOT#: 53  
FOLIO #: \_\_\_\_\_  
OUTLETS: 5 BTU'S: 580k  
REGS: 1ST PIZZA - 40k - 10pse  
2ND 652 - DFF - 9-14" w.c.  
TANK SIZE: 1000 Gallon  
SECURED BY: Cable + Anchor  
FOUNDATION: Underground  
PIPING: 1ST 3/4" - Poly  
2ND 3/4" 1/2" Galv, CSST  
CONTACT: Tyson Brown  
PHONE: 239-481-5500





# 11 X 18 BOXES

## FOR WATER & POWER INSTALLATIONS

- **STRONG** - 4 to 5 times the strength of concrete
- **LIGHTWEIGHT** - Quick easy installation for **LOWEST INSTALLED COST**
- **NON-CONDUCTIVE** - and unaffected by UV light, moisture, freezing and sub soil chemicals
- **NESTABLE** - for easy storage, transportation and freight savings (for flared wall boxes only)
- **STAINLESS STEEL HARDWARE** - Non-corrosive
- **NO EXTRA CHARGE** - for standard cover logos
- **CAST IRON** - Water meter reading lid available
- **BRASS HINGE** - full width of cover for corrosion resistance and long life, for cast iron reader lid applications

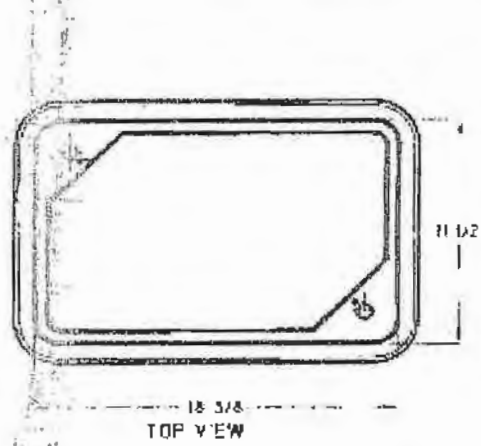
### Assemblies

Box and Cover	COVER		LIGHT TRAFFIC		HEAVY DUTY	
	NOT BOLTED	BOLTED	Part No.	WT.	Part No.	WT.
12" deep (straight wall)	•	•	_A03-1118-12 44		_A04-1118-12 46	
			_A13-1118-12 44		_A14-1118-12 46	
12" deep (flared wall)	•	•	_A00-1118-12 46		_A02-1118-12 48	
			_A10-1118-12 46		_A12-1118-12 48	
18" deep (straight wall)	•	•	_A03-1118-18 55		_A04-1118-18 58	
			_A13-1118-18 55		_A14-1118-18 58	
18" deep (flared wall)	•	•	_A00-1118-18 57		_A02-1118-18 60	
			_A10-1118-18 57		_A12-1118-18 60	

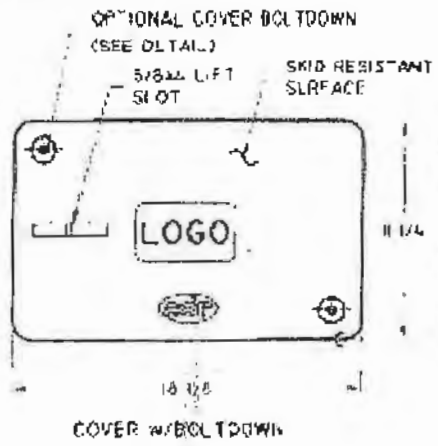
### Components

	LIGHT TRAFFIC				HEAVY DUTY			
	NOT BOLT DOWN		BOLT DOWN		NOT BOLT DOWN		BOLT DOWN	
	Part No.	WT.	Part No.	WT.	Part No.	WT.	Part No.	WT.
12" deep (straight wall)	_B03-1118-12 25		_B13-1118-12 25		_B04-1118-12 28		_B14-1118-12 28	
12" deep (flared wall)	_B00-1118-12 25		_B10-1118-12 25		_B02-1118-12 28		_B12-1118-12 28	
18" deep (straight wall)	_B03-1118-18 25		_B13-1118-18 25		_B04-1118-18 28		_B14-1118-18 28	
18" deep (flared wall)	_B00-1118-18 25		_B10-1118-18 25		_B02-1118-18 28		_B12-1118-18 28	
Cover 1-3/4" thick w/ 4 x 6 CI reader door	_C00-1118-2C 21		_C10-1118-2C 21		_C02-1118-2C 23		_C12-1118-2C 23	
Cover 1- 3/4" thick	_C00-1118-02 21		_C10-1118-02 21		_C02-1118-02 23		_C12-1118-02 23	

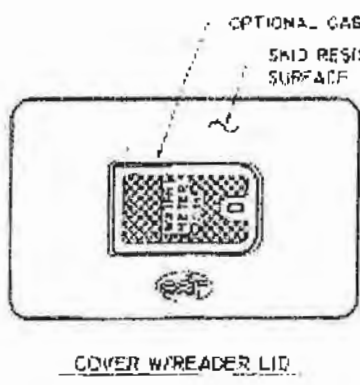
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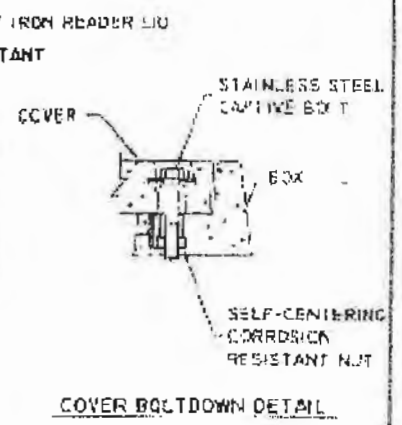
TOP VIEW



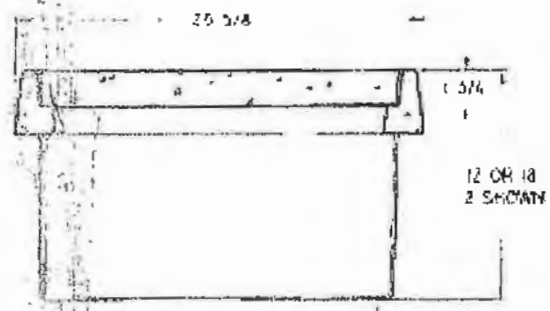
COVER w/BOLTDOWN



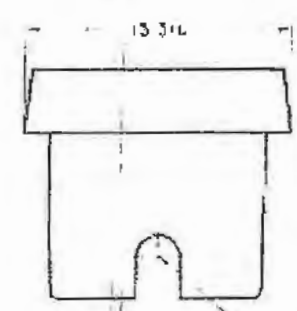
COVER w/READER LID



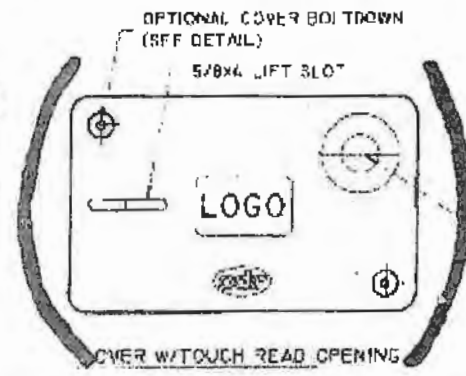
COVER BOLTDOWN DETAIL



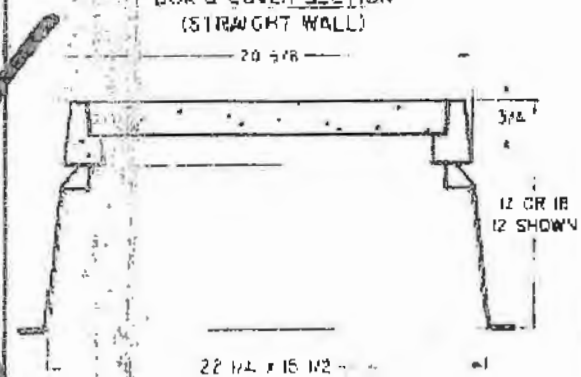
BOX & COVER SECTION (STRAIGHT WALL)



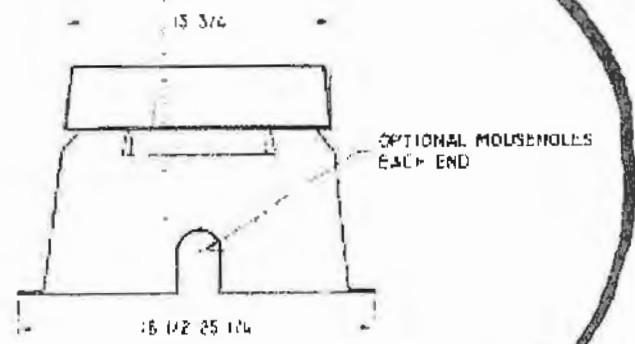
END VIEW



COVER w/TOUCH READ OPENING



BOX & COVER SECTION (FLARED WALL)



END VIEW

- MATERIAL: FIBERGLASS REINFORCED POLYMER CONCRETE & FIBERGLASS REINFORCED POLYMER
- STANDARD COLOR: CONCRETE GRAY
- OPTIONAL COLORS AVAILABLE FOR COVER & BOX COLLAR
- FLARED WALL BOXES ARE NESTABLE
- STRAIGHT WALL BOXES ARE STACKABLE

11 x 18 SERIES BOX & COVER			
DRAWN	MMK	DATE	12/24/01
CHECKED		A	181-0059
APPROVED			

# LOAD SPECIFICATION TABLE

LOAD DESIGNATION	DESCRIPTION	DESIGN LOADS			TESTING		SELECT CDR PRODUCT RATING
		LIVE LB/WHEEL (2)	LIVE + IMPACT LB/WHEEL	SIDE PSF (3)	LOAD, LBS	SAFETY FACTOR	
C857 A-0.3	PEDESTRIAN	(300 PSF)	—————	30	(650 PSF) (4)	2.17	LIGHT TRAFFIC
WUC 3.6	INCIDENTAL TRAFFIC	—————	—————	600	10,400	—————	
C857 A-8	LIGHT TRUCKS	8,000	10,400	30/40	17,360 (4)	2.17	
20K	LIGHT TRUCKS	8,000	10,400	30/40	20,000 (4)	2.50	20K
AASHTO H10	LIGHT TRUCK TRAFFIC	8,000	10,400	N/A	22,568 (4)	2.82	HEAVY DUTY
C857 A-12	MEDIUM TRUCKS	12,000	15,600	30/60	26,040 (4)	2.17	
AASHTO H15	MEDIUM TRUCK TRAFFIC	12,000	15,600	N/A	27,000 (5)	2.25	
C857 A-16	HEAVY TRUCKS	16,000	20,800	30/80	27,000 (5)	1.69	
AASHTO H20	HEAVY TRUCK TRAFFIC	16,000	20,800	N/A	45,136 (4)	2.82	

**FOOTNOTES**

1. LOAD DESIGNATIONS ARE FROM ASTM C857 "MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES", "STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES", "AASHTO, 13TH ED.," AND "NON-CONCRETE ENCLOSURES," WESTERN UNDERGROUND COMMITTEE GUIDE 3.6, MAY 1988.
2. WHEEL FOOTPRINTS ARE GIVEN IN ASTM C857 & THE AASHTO STANDARDS.
3. SIDE LOADS ARE SHOWN AS (HYDROSTATIC PRESSURE FROM SOIL) / (SURCHARGE FROM VEHICLE). SEE ASTM C857 FOR METHOD TO CALCULATE TOTAL LOAD. CDR USES A MINIMUM SAFETY FACTOR OF 3.0 FOR SIDE LOAD TESTS.
4. TEST LOAD CALCULATED ACCORDING TO AASHTO TEST METHOD T33 AND ASTM C497.
5. TEST LOAD IS MINIMUM APPLIED TO CDR HEAVY DUTY PRODUCTS TO DATE. CONSULT FACTORY IF HIGHER TEST LOADS OR SAFETY FACTORS ARE REQUIRED FOR A PARTICULAR PRODUCT.
6. CONSULT FACTORY FOR AVAILABLE SIZES.



 <b>CDR SYSTEMS GROUP</b> 146 SOUTH ATLANTIC AVE., ORMOND BEACH, FL. 32176			
TITLE <b>LOAD SPECIFICATION TABLE</b>			
DRAWN	MMK	DATE	1/5/05
CHECKED		 <small>SIZE</small>	<b>951-0001</b>
APPROVED	AOK		

Table P-1B Propane

		Maximum Capacity of TracPipe® CounterStrike® CSST in Thousands of BTU per House Propane Gas																														
		Min. Gas Pressure: 12-14 in w.c.																														
		Pressure Drop: 2.0 in w.c.																														
		(Based on a 1.52 Specific Gravity / 2520 BTU per cubic foot Gas)																														
Size	EHD	Tubing Length (feet)																														
		5	10	15	20	25	30	40	50	60	70	75	80	90	100	125	150	200	250	300	400	500	600	700	800	900	1000	1100	1200	1300	1400	1500
3/8"	15	190	138	114	100	89	82	71	65	59	55	54	52	49	46	41	38	33	30	27	24	22	19	17	17	16	16	14	14	13	13	13
1/2"	19	427	308	252	218	196	179	157	139	128	119	116	111	104	100	90	82	71	63	59	51	46	41	38	35	35	32	30	30	28	27	27
3/4"	25	1069	763	625	545	488	446	388	348	318	294	285	277	261	249	222	204	177	158	146	127	112	103	95	90	84	81	76	73	71	68	66
1"	31	1840	1309	1073	933	836	765	663	595	543	503	489	472	445	423	380	347	301	269	247	214	192	176	163	152	144	139	130	125	120	116	111
1 1/4"	37	3469	2467	2022	1756	1574	1438	1249	1119	1023	948	917	888	838	796	712	652	567	507	464	402	361	329	306	287	271	256	245	234	225	217	211
1 1/2"	46	5711	4023	3277	2834	2532	2306	1997	1783	1626	1504	1452	1406	1325	1256	1123	1023	885	790	720	622	556	507	469	439	413	391	374	358	344	331	318
2"	62	13073	9259	7568	6558	5869	5361	4645	4158	3797	3516	3398	3290	3103	2945	2635	2407	2085	1867	1704	1477	1322	1206	1118	1047	986	936	893	855	822	792	765

Notes: EHD (Equivalent Hydraulic Diameter) A theoretical size which reflects the hydraulic performance of the tubing. It is not a true physical measure. This number is used to compare individual sizes between different manufactures. The higher the EHD number the greater the flow capacity of the piping.

69

Table P-2 Propane Medium Pressure

		Maximum Capacity of TracPipe CounterStrike CSST in Thousands of BTU per House Propane Gas																														
		Min. Gas Pressure: 13-14 in w.c.																														
		Pressure Drop: 2.5 in w.c.																														
		(Based on a 1.52 Specific Gravity / 2520 BTU per cubic foot Gas)																														
Size	EHD	Tubing Length (feet)																														
		5	10	15	20	25	30	40	50	60	70	75	80	90	100	125	150	200	250	300	400	500	600	700	800	900	1000	1100	1200	1300	1400	1500
3/8"	15	222	159	131	114	102	93	81	73	67	62	60	58	55	52	46	43	36	33	30	27	24	22	21	19	17	17	16	16	14	14	14
1/2"	19	491	353	290	254	228	209	182	164	150	140	135	131	124	118	108	97	85	76	70	67	61	46	43	40	38	36	35	33	32	30	30
3/4"	25	1192	850	698	606	545	497	432	388	355	329	318	309	291	277	249	226	198	177	161	141	127	116	106	100	95	90	85	82	79	76	73
1"	31	2512	1863	1720	1343	1106	976	863	825	771	719	696	673	632	596	533	470	398	352	320	239	214	196	182	169	160	152	146	139	133	128	125
1 1/4"	37	3870	2753	2256	1959	1756	1605	1393	1249	1142	1058	1023	991	936	888	796	728	632	567	518	450	402	367	340	320	301	287	272	261	252	242	234
1 1/2"	46	6393	4503	3688	3173	2834	2584	2234	1997	1821	1685	1626	1574	1484	1406	1256	1145	990	895	806	697	622	568	526	491	462	439	418	401	365	370	358
2"	62	14609	10347	8456	7329	6558	5990	5192	4645	4243	3930	3797	3676	3467	3290	2945	2688	2331	2085	1905	1650	1477	1349	1249	1168	1102	1047	997	955	918	885	855

\*Notes: Tables above include losses for four 90-degree bends and two end fittings. Tubing runs with larger numbers of bends and/or fittings shall be increased by the equivalent length of tubing to the following equation: L=1.3n where L is the additional length of tubing and n is the number of additional fittings and/or bends.

Table 15.1(o) Polyethylene Plastic Pipe Sizing Between First-Stage and Second-Stage Regulators: Nominal Outside Diameter (IPS)

		Gas: Undiluted Propane				
		Inlet Pressure: 10.0 psi				
		Pressure Drop: 1.0 psi				
		Specific Gravity: 1.52				
Plastic Pipe Length (ft)	½ in. SDR 9.33 (0.660)	¾ in. SDR 11.0 (0.860)	1 in. SDR 11.00 (1.077)	1¼ in. SDR 10.00 (1.328)	1½ in. SDR 11.00 (1.554)	2 in. SDR 11.00 (1.943)
30	2143	4292	7744	13416	20260	36402
40	1835	3673	6628	11482	17340	31155
50	1626	3256	5874	10176	15368	27612
60	1473	2950	5322	9220	13924	25019
70	1355	2714	4896	8483	12810	23017
80	1261	2525	4555	7891	11918	21418
90	1183	2369	4274	7404	11182	20091
100	1117	2238	4037	6994	10562	18978
125	990	1983	3578	6199	9361	16820
150	897	1797	3242	5616	8482	15240
175	826	1653	2983	5167	7803	14020
200	778	1539	2775	4807	7259	13043
225	721	1443	2603	4510	6811	12238
250	681	1363	2459	4260	6434	11560
275	646	1294	2336	4046	6111	10979
300	617	1235	2228	3860	5830	10474
350	567	1136	2050	3551	5363	9636
400	528	1057	1907	3304	4989	8965
450	495	992	1789	3100	4681	8411
500	468	937	1690	2928	4422	7945
600	424	849	1531	2653	4007	7199
700	390	781	1409	2441	3686	6623
800	363	726	1311	2271	3429	6161
900	340	682	1230	2131	3217	5781
1000	322	644	1162	2012	3039	5461
1500	258	517	933	1616	2441	4385
2000	221	443	798	1383	2089	3753

IPS: Iron pipe size. SDR: Standard dimension ratio.

Notes:

(1) Capacities are in 1000 Btu/hr.

(2) Dimensions in parentheses are inside diameter.



**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**5F**

SKETCH OF DESCRIPTION

14361 Charthouse Circle

Lot 54

Occupied

S 51°01'53" W 130.00' (PL&M)

PORTION OF D.E. TO BE VACATED 71.49 SQ. FT.

Lot 53

14361 Charthouse Circle  
One Story Residence  
Under Construction  
Finished Floor Elev.=8.97'

Tract OS3

(AD, DE, IE)

LEGAL DESCRIPTION OF PORTION OF DRAINAGE EASEMENT TO BE VACATED

ALL THAT PART OF LOT 53, PARROT CAY, AS RECORDED IN PLAT BOOK 58, PAGES 75-78, COLLIER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WESTERLY CORNER OF SAID LOT 53; THENCE N. 51°01'53" E. A DISTANCE OF 42.00 FEET ALONG THE COMMON PROPERTY LINE OF LOTS 53 AND 54, PARROT CAY; THENCE LEAVING SAID COMMON PROPERTY LINE RUN S. 38°58'07" E. A DISTANCE OF 6.58 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE N. 51°01'53" E. A DISTANCE OF 77.71 FEET; THENCE S. 38°58'07" E. A DISTANCE OF 0.92 FEET; THENCE S. 51°01'53" W. A DISTANCE OF 77.71 FEET; THENCE N. 38°58'07" W. A DISTANCE OF 0.92 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING AN AREA OF 71.49 SQUARE FEET.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PL&M)	60.00'	13.50'	13.47'	N 46°21'44" W	12°53'24"
C2 (PL&M)	255.00'	4.22'	4.22'	N 39°26'34" W	00°56'55"
C3 (PL&M)	385.00'	6.37'	6.37'	N 39°26'35" W	00°56'55"

LINE	BEARING	DISTANCE
L1	N 51°01'53" E	42.00'
L2	S 38°58'07" E	6.58'
L3	N 51°01'53" E	77.71'
L4	S 38°58'07" E	0.92'
L5	S 51°01'53" W	77.71'
L6	N 38°58'07" W	0.92'

GRAPHIC SCALE



DESCRIPTION: AS FURNISHED BY CLIENT

**LOT 53**  
**PARROT CAY**

AS RECORDED IN PLAT BOOK 58 PAGE 75 THRU 78 OF THE PUBLIC RECORDS OF Collier COUNTY, FLORIDA

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

I HEREBY CERTIFY TO:

FLORIDA LIFESTYLE HOMES, INC.;  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;  
KEVIN A. DENTI, P.A.;  
AMERICAN MOMENTUM BANK;

THAT A SURVEY OF THE HEREON DESCRIBED PROPERTY WAS MADE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

ELECTRONIC SIGNATURE USED IN ACCORDANCE WITH APPLICABLE STATE LAWS AND RULES INCLUDING BUT NOT LIMITED TO FLORIDA STATUTES 568.001, 568.50 AND FLORIDA ADMINISTRATIVE CODE CHAPTER 5J-17.

5J-17.051(3)(b)6 - ADDITION OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY OR PARTIES

Digitally signed by Antonio Trigo PLS No 2982 Date: 2022.06.30 09:10:33 -0400

THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED ABOVE. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED. UNDERGROUND IMPROVEMENTS NOT LOCATED UNLESS NOTED.

- LEGEND:**
- - FOUND CONCRETE MONUMENT
  - - SET CONCRETE MONUMENT (LB # 3964)
  - - FOUND IRON PIN
  - - SET 5/8" IRON PIN (LB # 3964)
  - ▲ - FOUND NAIL
  - △ - SET NAIL
  - ⊙ - FOUND DRILL HOLE
  - ⊕ - SET DRILL HOLE
  - P.C. = POINT OF CURVATURE
  - P.T. = POINT OF TANGENCY
  - P.I. = POINT OF INTERSECTION
  - L.B. = LAND SURVEYING BUSINESS
  - C.B/S = CONCRETE BLOCK STRUCTURE
  - C/S = CONCRETE SLAB
  - P.R.C. = POINT OF REVERSE CURVATURE
  - P.R.M. = PERMANENT REFERENCE MONUMENT
  - P.U.E. = PUBLIC UTILITY EASEMENT
  - ⊖ = WATER METER
  - ⊕ = SANITARY CLEAN OUT
  - ⊕ = WATER VALVE
  - BB - BEARING BASIS - PLAT
  - MEAS - MEASURED - M
  - CALC. = CALCULATED
  - Δ = DELTA ANGLE
  - R = RADIUS
  - CH = CHORD
  - CB = CHORD BEARING
  - DE = DRAINAGE EASEMENT
  - UE = UTILITY EASEMENT
  - CONC. = CONCRETE
  - LWE = LAKE MAINTENANCE EASEMENT
  - IE = IRRIGATION EASEMENT
  - L.S. = LAND SURVEYOR
  - EL. = ELEVATION
  - PL = PLAT
  - ⊖ = CABLE TV SERVICE
  - ⊖ = CONC POWER POLE
  - ⊖ = TELEPHONE SERVICE
  - ⊖ = ELECTRIC SERVICE
  - ⊖ = SANITARY MANHOLE
  - ⊖ = FIRE HYDRANT

SURVEY DATE: 10/30/2019  
FIELD BOOK 701 PAGE 74  
DRAWN BY: PSC SCALE: 1" = 20'

REVISIONS:	BOOK	PAGE
11/06/19 Revised Certifications		
11/30/21 Add Foundation Location		
6/23/2022 7.5' Drainage Easement	Dwg	

**A. TRIGO & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS & MAPPERS  
2223 TRADE CENTER WAY  
NAPLES, FLORIDA 34109  
LAND SURVEYING BUSINESS # 3964

FILE NO: A 19.0298

Benchmark PK Nail and Disk #6952 El.=7.20'(NAVD)

5' Concrete Stilewalk

POINT OF COMMENCEMENT

POINT OF BEGINNING

7.5' D.E. & I.E.

10' P.U.E.

N 39°55'02" W 80.45' (PL&M)

2 Valley Gutter

Edge of Pavement

Centerline Bearing Basis N 39°55'02" W 255.45'

Charthouse Circle

50' Right-of-Way

24.8' Low Garage Elev.=8.47'

24.5' Low Garage Elev.=8.59'

3.7'x5' Conc. Pad Elev.=9.0'

4'x10' Conc. Pad Elev.=8.63'

Found 5/8" Iron Pin No ID#

Set 5/8" Iron Pin and Cap #3964

Set 5/8" Iron Pin and Cap #3964

Set 5/8" Iron Pin and Cap #3964

Edge of Water

Tract LI (LAKE, DE)

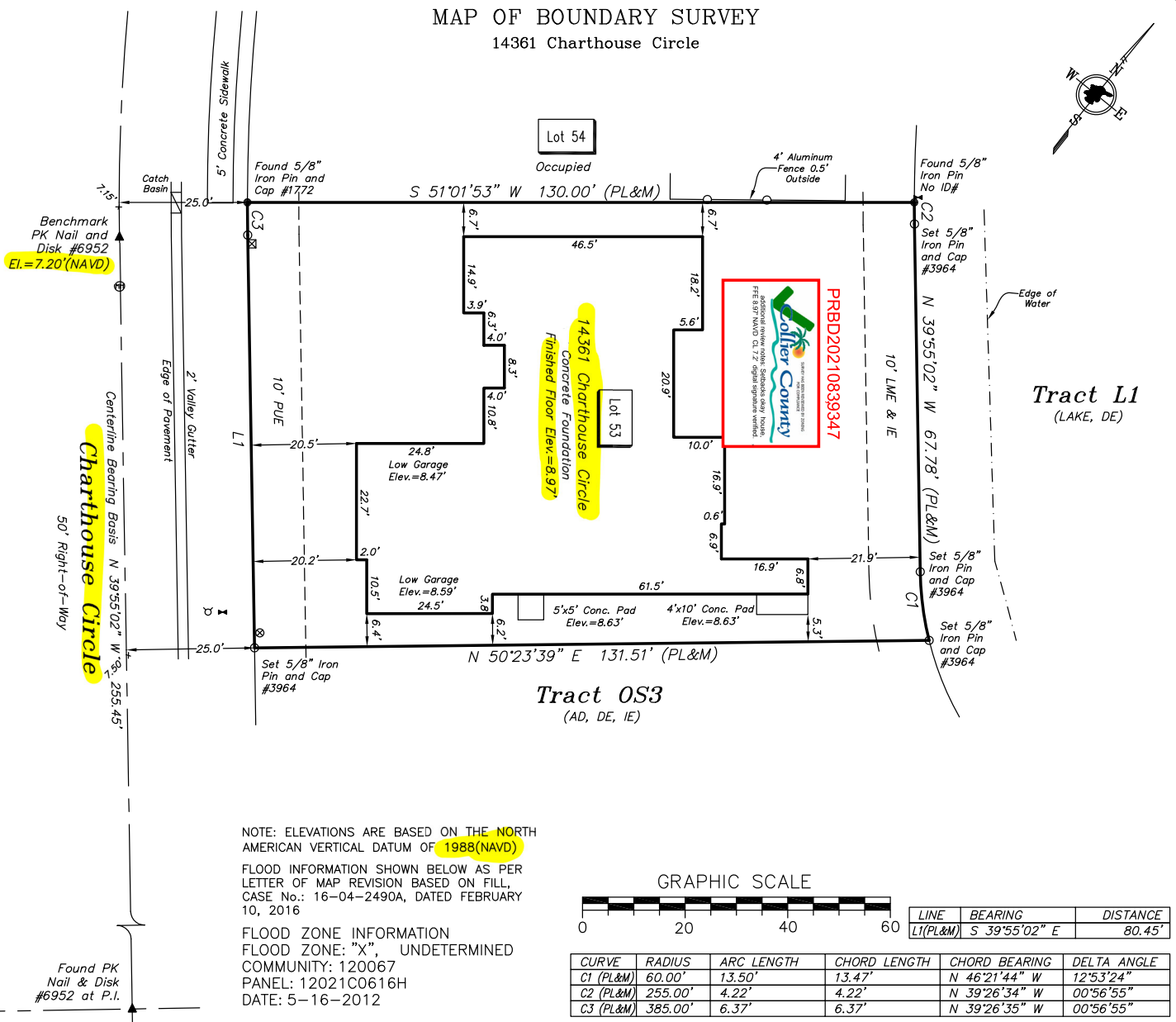


**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**5G**

MAP OF BOUNDARY SURVEY

14361 Charthouse Circle



DESCRIPTION: AS FURNISHED BY CLIENT

**LOT 53**  
**PARROT CAY**

AS RECORDED IN PLAT BOOK 58 PAGE 75 THRU 78 OF THE PUBLIC RECORDS OF Collier COUNTY, FLORIDA

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I HEREBY CERTIFY TO:

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OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;  
KEVIN A. DENTI, P.A.;  
AMERICAN MOMENTUM BANK;

THAT A SURVEY OF THE HEREOF DESCRIBED PROPERTY WAS MADE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

ELECTRONIC SIGNATURE USED IN ACCORDANCE WITH APPLICABLE STATE LAWS AND RULES INCLUDING BUT NOT LIMITED TO FLORIDA STATUTES 668.001, 668.50 AND FLORIDA ADMINISTRATIVE CODE CHAPTER 5J-17.

5J-17.051(3)(b)6 - ADDITION OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY OR PARTIES

**David C. Holman** Digitally signed by David C. Holman  
Date: 2021.12.03 10:43:01 -0500

STATE OF FLORIDA

THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED ABOVE. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED. UNDERGROUND IMPROVEMENTS NOT LOCATED UNLESS NOTED.

- LEGEND:**
- = FOUND CONCRETE MONUMENT
  - = SET CONCRETE MONUMENT (LB # 3964)
  - = FOUND IRON PIN
  - = SET 5/8" IRON PIN (LB # 3964)
  - ▲ = FOUND NAIL
  - △ = SET NAIL
  - ⊙ = FOUND DRILL HOLE
  - ⊚ = SET DRILL HOLE
  - P.C. = POINT OF CURVATURE
  - P.T. = POINT OF TANGENCY
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  - C.B.S. = CONCRETE BLOCK STRUCTURE
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  - MEAS = MEASURED = M
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SURVEY DATE: 10/30/2019  
FIELD BOOK 701 PAGE 74  
DRAWN BY: PSC SCALE: 1" = 20'

REVISIONS:	BOOK	PAGE
11/06/19 Revised Certifications		
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PROFESSIONAL LAND SURVEYORS & MAPPERS  
2223 TRADE CENTER WAY  
NAPLES, FLORIDA 34109  
LAND SURVEYING BUSINESS # 3964

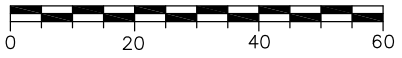
FILE NO: A 19.0298

NOTE: ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAVD)

FLOOD INFORMATION SHOWN BELOW AS PER LETTER OF MAP REVISION BASED ON FILL, CASE No.: 16-04-2490A, DATED FEBRUARY 10, 2016

FLOOD ZONE INFORMATION  
FLOOD ZONE: "X", UNDETERMINED  
COMMUNITY: 120067  
PANEL: 12021C0616H  
DATE: 5-16-2012

GRAPHIC SCALE



LINE	BEARING	DISTANCE
L1(PL&M)	S 39°55'02" E	80.45'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PL&M)	60.00'	13.50'	13.47'	N 46°21'44" W	12°53'24"
C2 (PL&M)	255.00'	4.22'	4.22'	N 39°26'34" W	00°56'55"
C3 (PL&M)	385.00'	6.37'	6.37'	N 39°26'35" W	00°56'55"

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**6**







**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**7**

This instrument was prepared  
without an opinion of title and  
after recording return to:  
Gregory L. Urbancic, Esq.  
Coleman, Yovanovich & Koester, P.A.  
4001 Tamiami Trail North, Suite 300  
Naples, Florida 34103  
(239) 435-3535

### GENERATOR ENCROACHMENT AGREEMENT

THIS GENERATOR ENCROACHMENT AGREEMENT (this "Agreement") is made this 18th  
day of AUGUST, 2022, by and between NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT ("District") and MICHAEL KILPATRICK AND  
DAWN WALTMAN (collectively, "Owner").

#### RECITALS

A. Owner is the owner in fee simple of that certain real property located at 14531 Stillwater  
Way, Naples, Florida 34114, which real property is legally described as follows (the "Owner's Property"):

Lot 48, Block 7, Naples Reserve, Phase III, according to the plat thereof as recorded in Plat  
Book 64, Pages 37 through 41, inclusive, of the Public Records of Collier County, Florida.

B. Pursuant to the terms of the plat of Naples Reserve, Phase III, a subdivision according to  
the plat thereof, as recorded in Plat Book 64, Pages 37 through 41, inclusive, of the Public Records of  
Collier County, Florida (the "Plat"), the east side of the Owner's Property is subject to and encumbered by  
a 7.5' drainage easement and 7.5' irrigation easement (collectively, the "Drainage Easement"). District  
is the owner and holder of rights in the Drainage Easement.

C. Owner intends to construct and maintain a generator and related improvements  
(collectively, the "Generator Improvements") that will partially encroach into the Drainage Easement  
(the "Encroachment") as shown on the site plan attached as Exhibit "A" and made a part of this  
Agreement (the "Site Plan").

D. The parties to this Agreement have reached certain understandings with regard to the  
Encroachment and now desire to set forth their understandings in writing for recordation.

#### AGREEMENT

NOW, THEREFORE, the parties agree as follows:

1. Recitals. The foregoing recitals are true and correct and incorporated by reference into  
this Agreement.

2. Consent to the Encroachment and Covenant not to Construct. Subject to the terms of  
this Agreement, District hereby expressly consents to the Encroachment and Owner, for itself and on behalf  
of all of its heirs, successors and/or assigns agrees and covenants that, in consideration for such consent by  
District, no portion of the Generator Improvements encroaching into the Drainage Easement shall ever be  
expanded or increased beyond that which is permitted herein. In the event District determines that,  
notwithstanding Owner's agreement to the restrictive covenant set forth herein, any portion of the Generator

Improvements within the Drainage Easement has been expanded or increased or Owner has otherwise constructed or installed improvements beyond or in addition to the permitted Generator Improvements in the Drainage Easement in violation of the terms hereof, and gives written notice to Owner of such determination, Owner or its successors and/or assigns shall have thirty (30) calendar days to correct such violation at its sole cost and expense after such written notice is actually received or deemed to have been received, whichever is earlier. In the event such violation is not corrected within such thirty (30) day period, Owner expressly agrees District may, and hereby further authorizes District to, take all steps necessary to remove such violating improvements, including, but not limited to, the right to enter onto the Owner's Property. Owner acknowledges that the Encroachment into the Drainage Easement is by consent of District and not by any claim of some other right.

3. **Owner's Responsibilities.** Owner agrees to, and acknowledges the following responsibilities as a condition to District's consent to the Encroachment:

a. Owner shall be fully responsible, at Owner's sole cost and expense, for the installation, operation, and maintenance of the Generator Improvements, including any permits or approvals required for the work;

b. Owner shall use a licensed and insured contractor to perform any installation and maintenance work pursuant to this Agreement;

c. Owner shall ensure the installation, operation, and maintenance of the Generator Improvements are conducted in compliance with all applicable laws;

c. Owner shall ensure the installation, operation, and maintenance of the Generator Improvements does not damage any property of District, or any third-party's property, and in the event of any such damage, Owner shall immediately repair the damage at Owner's sole cost and expense;

d. Owner shall continue to operate, maintain, and repair the Generator Improvements, in good and proper working condition and repair;

e. Except as to the approved Encroachment approved herein, Owner shall ensure that District has access through the Drainage Easement to and from components of District's stormwater management system to allow District to operate, maintain and repair the same, as needed; and

f. Owner shall maintain the Drainage Easement free from any construction, materialmen's or mechanic's liens and claims or notices with respect to such liens and claims, which arise by reason of Owner's exercise of rights under this Agreement, and Owner shall immediately discharge any such claim of lien at Owner's sole cost and expense.

4. **Additional Costs.** In the event that at any time subsequent to the execution of this Agreement the Encroachment encumbers or inconveniences District's use of the Drainage Easement (including, without limitation, the maintenance, repair, and/or replacement of improvements within or adjacent to the Drainage Easement such as buried pipes or other drainage lines), District will make reasonable efforts to work around the Encroachment; provided, however, that Owner shall pay for all of District's costs associated with working around the Encroachment to the extent that such costs would not have been incurred but for the Encroachment. Said additional costs are, at the election of District, to be paid to District in advance of any work to be performed by District. District shall be the sole judge of such incremental costs. Only if District, in its sole judgment, is not able to work around the Encroachment, will District mandate that the Encroachment be moved or removed, at no cost to District, as then may be needed to allow District the needed use of the Drainage Easement. If Owner fails to remove the Encroachment



after written request of District, District may remove the Encroachment and charge Owner for the cost thereof. Removal of the Encroachment will be the last alternative solution of any such use problem(s) unless the incremental cost of the least expensive and viable alternative solution exceeds the cost of removal.

5. **Indemnification.** In order to induce District to consent to the Encroachment, as evidenced by this Agreement, Owner hereby agrees to fully protect, indemnify, defend, save and hold District, and its supervisors, officers, employees, agents, administrators, and all of their respective heirs, successors and assigns (collectively, the "**Indemnified Parties**"), harmless from and against any and all claims, damages, expenses, costs, charges, obligations, liabilities, fees, penalties, assessments, taxes, losses, etc. of any kind or nature whatsoever, whether mature or not, in law or in equity, whether as a result of settlement, litigation or arbitration which may be incurred or suffered by one or more of the Indemnified Parties arising out of, relating to or resulting from the construction, use, maintenance and occupation of the Encroachment and any removal of any improvements within the Encroachment, and in all events including, but not limited to, any and all attorneys' fees, court costs, and including costs incurred in any appellate proceedings, or costs of arbitration and all expenses in defending same, in connection with any and all of the above.

6. **Other Approvals.** Owner shall be responsible for obtaining any and all approvals of any other entity having an interest in the Drainage Easement, including, without limitation, Collier County and the Naples Reserve Homeowners Association, Inc.

7. **Binding Effect.** This Agreement shall be binding upon and shall inure to the benefit of the parties, their respective heirs, successor and assigns forever. This Agreement, the rights and privileges herein granted and the burdens imposed hereby shall be perpetual and shall run with and bind Owner's Property.

8. **Governing Law / Venue.** This Agreement shall be construed in accordance with Florida law (exclusive of choice of law rules). Venue for any action arising hereunder shall lie exclusively in Collier County, Florida.

9. **Prevailing Party.** The prevailing party in any litigation arising out of this Agreement shall be entitled to recover from the non-prevailing party all attorneys' fees, paralegal fees, and costs incurred in connection with such litigation, whether pre-trial, at trial, in arbitration, on appeal, or otherwise.

10. **Partial Invalidity.** If any term or provision of this Agreement or the application thereof to any person or circumstances shall, to any extent, be declared invalid or unenforceable by a court of competent jurisdiction, the remainder of this Agreement, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, such term or provision shall be modified to the minimum extent necessary to make it or its application valid and enforceable, and the validity and enforceability of all other provisions of this Agreement and all other applications of any such term or provision shall not be affected thereby, and each term and provision of this Agreement shall be valid and be enforced to the fullest extent permitted by law.

11. **Modifications.** This Agreement may not be modified in any respect whatsoever or rescinded, in whole or in part, except by written instrument duly executed and acknowledged by both of the Parties.

12. **Severability.** In the event any term or provision of this Agreement is determined by appropriate judicial authority to be illegal or otherwise invalid, such provision shall be construed or deleted as such authority determines, and the remainder of this Agreement shall be construed to be in full force and effect.

13. **Integration.** This Agreement embodies the entire understanding of the parties with respect to the subject matter contemplated herein, and the terms hereof control over and supersede all prior and contemporaneous understandings pertaining to the subject matter hereof.

14. **Interpretation.** This Agreement has been negotiated fully between the parties as an arms' length transaction. Both parties participated fully in the preparation of this Agreement. In the case of a dispute concerning the interpretation of any provision of this Agreement, both parties are deemed to have drafted, chosen, and selected the language, and the doubtful language will not be interpreted or construed against any party.

15. **Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original as against any party whose signature appears thereon and all of which shall together constitute one and the same instrument.

16. **Termination.** This Agreement shall continue in full force and effect until terminated by recording an instrument in the Public Records of Collier County, Florida, signed by the parties or their successors and assigns to this Agreement or upon the removal by Owner of the Encroachment.

*(Remainder of Page Intentionally Left Blank. Signatures Begin on Next Page.)*

The parties have executed this Agreement as of the date first written above.

**DISTRICT:**

**NAPLES RESERVE COMMUNITY  
DEVELOPMENT DISTRICT**

ATTEST:

Charlene Hill  
Secretary / Assistant Secretary

By: Tom Masquardt  
(Chair) Vice Chair

STATE OF FLORIDA       )  
  ) ss.  
COUNTY OF COLLIER    )

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 11<sup>th</sup> day of August, 2022, by Tom Masquardt + Charlene Hill, as Vice Chair + Secretary of Naples Reserve Community Development District, on behalf of said community development district, who is  personally known to me or  has produced \_\_\_\_\_ as evidence of identification.

(SEAL)

Julie K. Concannon  
NOTARY PUBLIC  
Name: Julie K. Concannon  
(Type or Print)  
My Commission Expires:



OWNER:

*Michael Kilpatrick*  
Michael Kilpatrick

*Dawn Waltman*  
Dawn Waltman

NOTARIZING COPY

STATE OF FLORIDA  
COUNTY OF COLLIER ) ss.

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 10<sup>th</sup> day of August, 2022, by Michael Kilpatrick and Dawn Waltman, who  are personally known to me or  have produced USA Passport - USA as evidence of identification.

(SEAL)

*Julie Kate Concannon*  
NOTARY PUBLIC  
Name: Julie Kate Concannon  
(Type or Print)  
My Commission Expires:

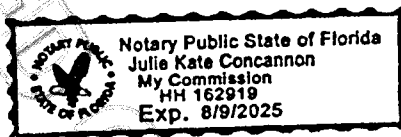
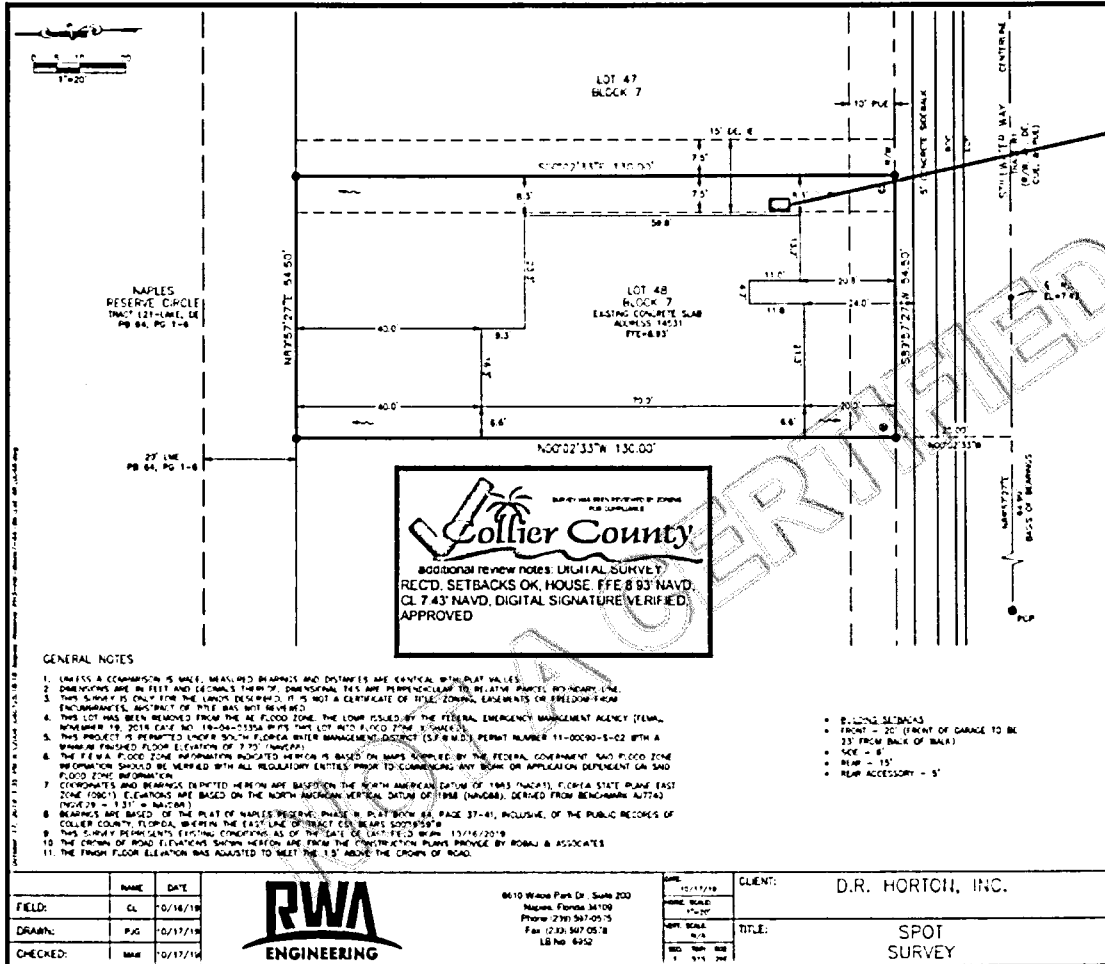


Exhibit "A"



**Proposed location of Generator**

- Generator dimensions 48" long X 25.5" wide
- Generator to be 18" min. from house
- Generator to be min. 5' from any openings, windows, or doors
- Generator to be placed min. 1' above base flood
- Generator to be placed on engineered composite pad.

**GENERAL NOTES**

1. UNLESS A COMMERCIAL IS MADE, MEASUREMENTS AND DISTANCES ARE GIVEN IN FEET AND INCHES.
2. DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. DIMENSIONS ARE PERMANENT TO THE PROPERTY BOUNDARY LINE.
3. THIS SURVEY IS ONLY FOR THE PURPOSES DESCRIBED. IT IS NOT A CERTIFICATE OF TITLE, ZONING, EASEMENTS OR FLOODPLAIN FACTORING. CONTACT THE SURVEYOR FOR MORE INFORMATION.
4. THIS LOT HAS BEEN REMOVED FROM THE AE FLOOD ZONE. THE LOW FLOOD ZONE MAP ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NUMBER 19, 2018 (DATE NO. 18-08-0133A) SHOWS THIS LOT AS A FLOOD ZONE 3 (XAE).
5. THIS PROJECT IS REGULATED UNDER SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) PERMIT NUMBER 11-0000-S-02 WITH A MINIMUM FINISHED FLOOR ELEVATION OF 7.75' (NGVD).
6. THE FLOOD FLOOD ZONE INFORMATION INDICATED HEREON IS BASED ON MAPS SUPPLIED BY THE FEDERAL GOVERNMENT AND FLOOD ZONE INFORMATION SHOULD BE VERIFIED WITH ALL REGULATORY ENTITIES PRIOR TO COMMENCING ANY WORK OR APPLICATION DEPENDENT ON SAID FLOOD ZONE INFORMATION.
7. ELEVATIONS AND BEARINGS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), FLORIDA STATE PLANE EAST ZONE (FPCS). ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED FROM BENCHMARK AL743 (ELEVATION = 1.31' MSL).
8. BEARINGS ARE BASED ON THE PLAT OF NAPLES RESERVE, PHASE II, PLAT BOOK 68, PAGE 37-41, INCLUSIVE, OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, WHEREIN THE EAST LINE OF TRACT COL BEARS S007°59'0"
9. THIS SURVEY IS BASED ON EXISTING CONDITIONS AS OF THE DATE OF LAST FIELD WORK: 12/16/2018.
10. THE CORNER OF ROAD ELEVATIONS SHOWN HEREON ARE FROM THE CONSTRUCTION PLANS PROVIDED BY ROMA & ASSOCIATES.
11. THE FINISH FLOOR ELEVATION WAS ADJUSTED TO MEET THE 1' ABOVE THE CROWN OF ROAD.

- 0' LONG SIDINGS
- FRONT - 20' (FRONT OF DAMAGE TO BE 33' FROM BACK OF WALL)
- SIDE - 5'
- REAR - 15'
- REAR ACCESSORY - 5'

FIELD:	NAME:	DATE:	DATE:	CLIENT:
FIELD:	CL	02/16/18	12/17/18	D.R. HORTON, INC.
DRAWN:	PJC	02/17/18	12/17/18	
CHECKED:	MAE	02/17/18	12/17/18	
			8610 Waco Park Dr. Suite 200 Naples, Florida 34109 Phone: 239-567-0575 Fax: 239-567-0578 LB No. 6452	TITLE: SPOT SURVEY

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**UNAUDITED  
FINANCIAL  
STATEMENTS**

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT  
FINANCIAL STATEMENTS  
UNAUDITED  
JULY 31, 2022**

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT  
BALANCE SHEET  
GOVERNMENTAL FUNDS  
JULY 31, 2022**

	General Fund	Debt Service Fund Series 2014	Debt Service Fund Series 2018	Capital Projects Fund Series 2018	Total Governmental Funds
<b>ASSETS</b>					
Cash	\$ 305,423	\$ -	\$ -	\$ -	\$ 305,423
Investments					
Reserve	-	519,031	279,771	-	798,802
Revenue	-	412,253	397,918	-	810,171
Prepayment	-	28,383	632	-	29,015
Due from FineMark	21,050	-	-	-	21,050
Due from general fund	-	-	2	-	2
Undeposited funds	319	2	-	-	321
Total assets	<u>\$ 326,792</u>	<u>\$ 959,669</u>	<u>\$ 678,323</u>	<u>\$ -</u>	<u>\$ 1,964,784</u>
<b>LIABILITIES</b>					
Liabilities:					
Due to debt service fund - seires 2014	\$ 2	\$ -	\$ -	\$ -	\$ 2
Due to debt service fund - series 2018	2	-	-	-	2
Developer advance	1,500	-	-	-	1,500
Total liabilities	<u>1,504</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>1,504</u>
<b>FUND BALANCES:</b>					
Restricted for					
Debt service	-	959,669	678,323	-	1,637,992
Assigned					
3 months working capital	79,564	-	-	-	79,564
Lake bank remediation	150,000	-	-	-	150,000
Unassigned	95,724	-	-	-	95,724
Total fund balances	<u>325,288</u>	<u>959,669</u>	<u>678,323</u>	<u>-</u>	<u>1,963,280</u>
Total liabilities, deferred inflow of resources and fund balances	<u>\$ 326,792</u>	<u>\$ 959,669</u>	<u>\$ 678,323</u>	<u>\$ -</u>	<u>\$ 1,964,784</u>
Total liabilities and fund balances	<u>\$ 326,792</u>	<u>\$ 959,669</u>	<u>\$ 678,323</u>	<u>\$ -</u>	<u>\$ 1,964,784</u>



**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
GENERAL FUND  
FOR THE PERIOD ENDED JULY 31, 2022**

	Current Month	Year to Date	Budget	% of Budget
<b>REVENUES</b>				
Assessment levy: on-roll	\$ -	\$ 464,045	\$ 462,830	100%
Miscellaneous income	-	1,598	-	N/A
Total revenues	<u>-</u>	<u>465,643</u>	<u>462,830</u>	101%
<b>EXPENDITURES</b>				
<b>Administrative</b>				
Engineering	3,058	19,369	25,000	77%
Engineering - stormwater reporting	201	634	-	N/A
Audit	-	7,200	7,200	100%
Legal	924	14,377	15,000	96%
Legal bond counsel	-	800	-	N/A
Management, accounting, recording	4,080	40,800	48,960	83%
Debt service fund accounting	458	4,583	5,500	83%
Postage	28	300	500	60%
Insurance	-	6,405	6,808	94%
Trustee	-	4,760	4,800	99%
Trustee - second bond series	-	4,031	5,500	73%
Arbitrage rebate calculation	-	-	1,500	0%
Dissemination agent	167	1,667	2,000	83%
Telephone	4	42	50	84%
Printing & binding	29	292	350	83%
Legal advertising	-	1,106	1,200	92%
Annual district filing fee	-	175	175	100%
Contingencies	-	-	2,500	0%
Website	-	705	705	100%
ADA website compliance	-	-	210	0%
Property appraiser	-	2,924	7,232	40%
Tax collector	-	9,281	9,642	96%
Total administration expenses	<u>8,949</u>	<u>119,451</u>	<u>144,832</u>	<u>82%</u>
<b>Field Operations</b>				
Drainage / catch basin maintenance	-	-	3,000	0%
Other repairs and maintenance	-	25,661	75,000	34%
Lake maintenance / water quality	20,449	42,669	75,000	57%
Total field operations expenses	<u>20,449</u>	<u>68,330</u>	<u>153,000</u>	<u>45%</u>
Total expenditures	<u>29,398</u>	<u>187,781</u>	<u>297,832</u>	<u>63%</u>
Excess (deficiency) of revenues over/(under) expenditures	(29,398)	277,862	164,998	
Fund balance - beginning	354,686	47,426	71,135	
Fund balance - ending				
Assigned				
3 months working capital	79,564	79,564	79,564	
Lake bank remediation	150,000	150,000	150,000	
Unassigned	95,724	95,724	6,569	
Fund balance - ending	<u>\$325,288</u>	<u>\$325,288</u>	<u>\$236,133</u>	

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
DEBT SERVICE FUND - SERIES 2014  
FOR THE PERIOD ENDED JULY 31, 2022**

	<u>Current Month</u>	<u>Year to Date</u>	<u>Budget</u>	<u>% of Budget</u>
<b>REVENUES</b>				
Assessment levy: on-roll	\$ -	\$ 540,830	\$ 539,300	100%
Assessment prepayment	13,574	28,382	-	N/A
Interest	4	36	-	N/A
Total revenues	<u>13,578</u>	<u>569,248</u>	<u>539,300</u>	106%
<b>EXPENDITURES</b>				
<b>Debt service</b>				
Principal	-	140,000	140,000	100%
Principal prepayments	-	5,000	-	N/A
Interest	-	371,797	371,938	100%
Total debt service	<u>-</u>	<u>516,797</u>	<u>511,938</u>	101%
<b>Other fees and charges</b>				
Tax collector	-	10,816	11,235	96%
Property appraiser	-	3,407	8,427	40%
Total other fees and charges	<u>-</u>	<u>14,223</u>	<u>19,662</u>	72%
Total expenditures	<u>-</u>	<u>531,020</u>	<u>531,600</u>	100%
Excess/(deficiency) of revenues over/(under) expenditures	13,578	38,228	7,700	
Fund balances - beginning	<u>946,091</u>	<u>921,441</u>	<u>851,036</u>	
Fund balances - ending	<u>\$ 959,669</u>	<u>\$ 959,669</u>	<u>\$858,736</u>	

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
DEBT SERVICE FUND - SERIES 2018  
FOR THE PERIOD ENDED JULY 31, 2022**

	<u>Current Month</u>	<u>Year to Date</u>	<u>Budget</u>	<u>% of Budget</u>
<b>REVENUES</b>				
Assessment levy: on-roll	\$ -	\$ 581,603	\$ 580,060	100%
Interest	274	419	-	N/A
Total revenues	<u>274</u>	<u>582,022</u>	<u>580,060</u>	100%
<b>EXPENDITURES</b>				
<b>Debt service</b>				
Principal	-	150,000	150,000	100%
Principal prepayments	-	15,000	10,000	150%
Interest	-	407,003	407,003	100%
Total debt service	<u>-</u>	<u>572,003</u>	<u>567,003</u>	101%
<b>Other fees and charges</b>				
Property appraiser	-	3,664	9,063	40%
Tax collector	-	11,632	12,085	96%
Total other fees and charges	<u>-</u>	<u>15,296</u>	<u>21,148</u>	72%
Total expenditures	<u>-</u>	<u>587,299</u>	<u>588,151</u>	100%
Excess/(deficiency) of revenues over/(under) expenditures	274	(5,277)	(8,091)	
<b>OTHER FINANCING SOURCES/(USES)</b>				
Transfers in	-	148	-	N/A
Total other financing sources	<u>-</u>	<u>148</u>	<u>-</u>	N/A
Net change in fund balances	274	(5,129)	(8,091)	
Fund balances - beginning	678,049	683,452	687,603	
Fund balances - ending	<u>\$678,323</u>	<u>\$678,323</u>	<u>\$679,512</u>	

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT  
STATEMENT OF REVENUES, EXPENDITURES,  
AND CHANGES IN FUND BALANCES  
CAPITAL PROJECTS FUND - SERIES 2018  
FOR THE PERIOD ENDED JULY 31, 2022**

	Current Month	Year to Date
<b>REVENUES</b>	\$ -	\$ -
Total revenues	-	-
 <b>EXPENDITURES</b>		
Total expenditures	-	-
 <b>OTHER FINANCING SOURCES/(USES)</b>		
Transfers (out)	-	(148)
Total other financing sources	-	(148)
Net change in fund balances	-	(148)
 Fund balance - beginning	-	148
Fund balance - ending	\$ -	\$ -

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**MINUTES**

**DRAFT**

**MINUTES OF MEETING  
NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

The Board of Supervisors of the Naples Reserve Community Development District held a Regular Meeting on August 4, 2022 at 10:30 a.m., at the Island Club at Naples Reserve, Activities Room, 14885 Naples Reserve Circle, Naples, Florida 34114.

**Present at the meeting were:**

Thomas Marquardt	Chair
Deborah Lee Godfrey	Vice Chair
Anna Harmon	Assistant Secretary
Charlene Hill	Assistant Secretary

**Also present, were:**

Jamie Sanchez	District Manager
Daniel Rom	Wrathell, Hunt and Associates, LLC (WHA)
Shane Willis	Operations Manager
Meagan Magaldi	District Counsel
Terry Cole	District Engineer
Lisa Wild	Resident/Design Review Committee
Ashly Barnes	KTS Group

**Residents present, were:**

Pat Ranallo	Heidi McIntyre	Chris Benson	Clement Soffer
-------------	----------------	--------------	----------------

**FIRST ORDER OF BUSINESS**

**Call to Order/Roll Call**

Ms. Sanchez called the meeting to order at 10:31 a.m. Supervisors Marquardt, Godfrey, Hill and Harmon were present in person. Supervisor Inez was not present.

**SECOND ORDER OF BUSINESS**

**Public Comments**

Ms. Sanchez explained the public comments process and noted that the Board and Staff are not required to respond to any questions or comments during the meeting.

Ms. Sanchez stated Mr. Rapallo submitted a speaker card to discuss Item 8A and suggested his comments be taken at that time.

41 Resident Clement Soffer presented photographs. He expressed concern that littorals will  
42 multiply via interconnecting pipes. He suggested limiting the expansion of littorals.

43

#### 44 **THIRD ORDER OF BUSINESS**

#### **Chair's Opening Remarks**

45

46 Mr. Marquardt reported the following:

47 ➤ A productive meeting was held with the HOA and the Landscaping Committee to  
48 determine if more littorals should be planted around the lakes and, if so, what types. It was  
49 suggested that the CDD consult with Verona Walk, based on the opinion that they did an  
50 extraordinary job beautifying their community's shoreline with various littorals.

51 ➤ Since the last meeting there were several requests to remove littorals for primarily  
52 aesthetic reasons. He felt that it is advisable to develop a program and policy for similar  
53 requests, as littorals might not be particularly beautiful but they serve purposes such as keeping  
54 water clean and providing habitat and protection for the shoreline. While only 13% to 15% of  
55 the shoreline is required to include littorals, it is anticipated that the percentage might increase  
56 to 80% to 90% in the future. He will ask Ms. Hill to evaluate Riverwalk, consult with the County  
57 representative and provide an update and recommendations.

58 ➤ The HOA is concerned about a part of the big lake at Crane Point where the grade makes  
59 it impossible for equipment to access. If that part does not meet specifications and the HOA has  
60 a claim with the Developer, the issue should be addressed now.

61 ➤ In walking the grounds with Mr. Cole and Mr. Willis, vegetation was observed in the 20'  
62 setback easement. It is unclear who planted the vegetation, which is attractive. While he is not  
63 inclined to make homeowners remove existing vegetation that is not causing an issue, he asked  
64 if such violations could affect homeowners in the event of a sale.

65 Ms. Magaldi stated vegetation is less likely to be an issue than a structure. Due to the  
66 costs, it might be preferable to file a retroactive Encroachment Agreement, in the event of a  
67 sale. Mr. Marquardt noted that, while such instances are common along the shorelines, the  
68 current standards are more particular than those in effect when older homes were built. Going  
69 forward, new construction is in compliance with current guidelines.

70 Discussion ensued regarding trees encroaching into lake easements, how plantings  
71 encroaching into easements can preserve shoreline, problems arising from encroaching trees  
72 and landscaping and responsibility for such issues.

73 Mr. Marquardt believed that vegetation in the easements is more of an HOA issue and  
74 suggested deferring management of these matters to the HOA.

75 Mr. Cole discussed encroachments impeding on the easements and noted that Use  
76 Agreements apply to structural encroachments. While the County might not require immediate  
77 removal, encroaching landscaping can be removed when necessary. Large rain events might  
78 reduce the size of the easements and items encroaching far into easements might be  
79 underwater. Mr. Marquardt was in favor of addressing encroachments on a case-by-case basis.  
80 Mr. Willis noted that juvenile trees and shrubs are easier to remove than established trees.

81 Ms. Wild stated that some of the trees behind homes might be the hardwood trees that  
82 builders were required to install and, when removed, these trees cannot be easily replaced due  
83 to space limitations between homes and utility easements. In some areas where homes are  
84 closer together, there might only be inches before the encroachment. She felt that it is  
85 important to inform residents of the additional approval processes when Encroachment  
86 Agreements are signed. Mr. Marquardt stated information will be sent to residents.

87 ➤ The HOA requested a boat ramp be allowed because, in the event of a hurricane, boats  
88 can be waterlocked. A location believed to be feasible was suggested. He recommended the  
89 CDD not object, provided the ramp is funded by the HOA and subject to Mr. Cole's review.

90

#### 91 **FOURTH ORDER OF BUSINESS**

#### **Service Provider Reports**

92

#### 93 **A. Cardno**

94 This item was presented following Item 4B.

#### 95 **B. SOLitude Lake Management, LLC**

##### 96 **I. June 21, 2022**

##### 97 **II. July 7, 2022**

98 Mr. Willis presented the SOLitude reports. A noise complaint was received about an  
99 aeration box near to a residence. The issue will be mitigated with insulation and possibly noise-  
100 deadening vegetation, such as Clusia. Mr. Marquardt stated the aerator matter raised the  
101 question of why some lakes have aerators and some do not. He felt that it is important to  
102 document aerators in use, hours in operation and whether additional aerators are needed.

#### 103 **▪ Cardno**

104 **This item, previously Item 4A, was presented out of order.**



105 Mr. Willis presented the Water Usage and Water Quality Report. Water usage  
106 decreased from 40 million gallons in April to 24 million gallons in June, due to heavy rainfall.  
107 Chloride levels, which measure saltwater intrusion into the lakes, were very low.

108 **C. Napier Sprinkler, Inc.**

109 Mr. Willis stated there was no report. Mr. Marquardt stated he asked Napier to revisit  
110 the location in Mallard. Mr. Cole stated he would inspect the area following the meeting.

111

112 **FIFTH ORDER OF BUSINESS**

**Public Hearing on Adoption of Fiscal Year  
2022/2023 Budget**

113

114

115 **A. Affidavit of Publication**

116 The proof of publication was included for informational purposes.

117 **B. Consideration of Resolution 2022-08, Relating to the Annual Appropriations and**

118 **Adopting the Budget for the Fiscal Year Beginning October 1, 2022, and Ending**

119 **September 30, 2023; Authorizing Budget Amendments; and Providing an Effective**

120 **Date**

121 Ms. Sanchez reviewed the revisions to the proposed Fiscal Year 2023 budget that were  
122 discussed in detail at the last meeting and noted the following:

123 ➤ The lake bank remediation number and fund reserve were modified by \$100,000.

124 ➤ Assessments will decrease by approximately \$2.85, compared to Fiscal Year 2022.

125

126 **On MOTION by Mr. Marquardt and seconded by Ms. Hill, with all in favor, the**  
127 **Public Hearing was opened.**

128

129

130 No members of the public spoke.

131

132 **On MOTION by Mr. Marquardt and seconded by Ms. Harmon, with all in favor,**  
133 **the Public Hearing was closed.**

134

135

136 **On MOTION by Ms. Godfrey and seconded by Mr. Marquardt, with all in favor,**  
137 **Resolution 2022-08, Relating to the Annual Appropriations and Adopting the**  
138 **Budget for the Fiscal Year Beginning October 1, 2022, and Ending September**  
139 **30, 2023; Authorizing Budget Amendments; and Providing an Effective Date,**  
140 **was adopted.**

141 **SIXTH ORDER OF BUSINESS**

Consideration of Resolution 2022-09, Making a Determination of Benefit and Imposing Special Assessments for Fiscal Year 2022/2023; Providing for the Collection and Enforcement of Special Assessments, Including but Not Limited to Penalties and Interest Thereon; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date

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Ms. Sanchez presented Resolution 2022-09.

154

**On MOTION by Mr. Marquardt and seconded by Ms. Godfrey, with all in favor, Resolution 2022-09, Making a Determination of Benefit and Imposing Special Assessments for Fiscal Year 2022/2023; Providing for the Collection and Enforcement of Special Assessments, Including but Not Limited to Penalties and Interest Thereon; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date, was adopted.**

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164 **SEVENTH ORDER OF BUSINESS**

Consideration of Addendum #2 to Management Services Agreement [Field Operations]

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166  
167

Mr. Sanchez presented Addendum #2 to the Management Services Agreement.

168  
169

**On MOTION by Ms. Hill and seconded by Ms. Harmon, with all in favor, Addendum #2 to the Management Services Agreement, at a rate of \$5,000 annually, was approved.**

170  
171  
172

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174

175 **EIGHTH ORDER OF BUSINESS**

Discussion/Consideration of Lot Encroachments [Parrot Cay Lots 63, 65, 70 & 77]

176  
177  
178

179 **A. 14257 Charthouse Circle, Lot 70**

- 180 **I. Letter Regarding Unauthorized Pool Encroachment into District Easements**
- 181 **II. Letter Sent from Property Owner to HOA**

182  
183

Resident Pat Ranallo noted his intention was not to circumvent regulations and he hopes to resolve the issue. Ms. Hill appreciated the comprehensive information provided.

184 Mr. Cole presented the request for Lot Encroachment for Parrot Cay Lot 70. He noted  
185 the location of the plat and stated, normally, all lake maintenance easements are within the  
186 lake tract but, in this case, 10' is within the Lake Maintenance Easement and 10' is within the  
187 lot. He stated the structures present an issue because, if the lot is sold and a survey done, there  
188 would be an encroachment.

189 Ms. Magaldi stated the encroachment could be an obstacle to a sale and District  
190 Counsel would not encourage the CDD to enter into the Easement Use Agreement proposed by  
191 the County, in its current form, because it puts liability on the CDD for something the  
192 homeowner wants to build.

193 Discussion ensued regarding the documentation submitted, whether to set a precedent  
194 by allowing encroachments into the easement, protecting the CDD from liability, the  
195 responsibility of the CDD to maintain the lake banks, major storm events, lake bank erosion and  
196 the possibility of heavy equipment being needed for lake bank remediation.

197 Ms. Magaldi stated that the CDD's primary concern is stormwater management and that  
198 must always be kept first and foremost. An Encroachment Use Agreement would be a next  
199 necessary step for issuance of a Letter of No Objection.

200

201 **On MOTION by Mr. Marquardt and seconded by Ms. Godfrey, with all in favor,**  
202 **the Lot Encroachment request for 14257 Charthouse Circle, Lot 70, was denied.**

203

204

205 **B. 14301 Charthouse Circle, Lot 63**

206 Mr. Cole presented the request for Lot Encroachment for Parrot Cay Lot 63. He noted  
207 the Site Plan is not labeled but, pictorially, it shows a 5' encroachment into the easement. Ms.  
208 Magaldi stated her reading of the letter from KTS conflicts with the letter from the Engineer  
209 and the survey. The consensus was there is no basis to approve the encroachment request.

210

211 **On MOTION by Ms. Hill and seconded by Mr. Marquardt, with all in favor, the**  
212 **Lot Encroachment request for 14301 Charthouse Circle, Lot 63, was denied.**

213

214

215 **C. 14293 Charthouse Circle, Lot 65**

216 Mr. Cole presented the request for Lot Encroachment for Parrot Cay Lot 65. He noted  
217 the circumstances are similar to Lot 63. Mr. Marquardt stated, in this case, the structure is  
218 already partially constructed in close proximity to the water.

219 Discussion ensued regarding possible removal of the structures.

220 Mr. Willis noted the schematic contradicts the letter and construction extends 5' into  
221 the easement. The consensus was there is no basis for approval of the easement request.

222

**On MOTION by Ms. Godfrey and seconded by Ms. Harmon, with all in favor, the Lot Encroachment request for 14293 Charthouse Circle, Lot 65, was denied.**

223

224

225

226

227 **D. 14219 Charthouse Circle, Lot 77**

228 Mr. Cole presented the request for Lot Encroachment for Parrot Cay Lot 77. He noted  
229 the circumstances are similar to Lot 65.

230

**On MOTION by Mr. Marquardt and seconded by Ms. Hill, with all in favor, the Lot Encroachment request for 14219 Charthouse Circle, Lot 77, was denied.**

231

232

233

234

235 **NINTH ORDER OF BUSINESS**

**Discussion Consideration of Easement Use Agreement [14361 Charthouse Circle, Lot 53]**

236

237

238

239 **A. Collier County Government Corrections Letter [1st Single Family]**

240 **B. Collier County Government Corrections Letter [2nd Single Family]**

241 **C. New Build Plans**

242 **D. Pool Application Approval**

243 **E. Propane Tank Plans**

244 **F. Easement Vacation Sketch**

245 **G. Boundary Spot Survey (Approved)**

246 Mr. Cole presented the request for an Easement Use Agreement for Lot 53. The left side  
247 of the house was built in the drainage easement and an encroachment of less than 10" exists.  
248 He discussed the underground drainage pipe between the two houses and potential issues and  
249 remediation. In this case, an Easement Use Agreement or County approval is needed. The  
250 potential damage is much less than catastrophic damage of a possible collapse at the lake bank.

251 Discussion ensued regarding the builder’s proposal to move the A/C unit and remove  
252 the wall, reducing the encroachment to 10”.

253 A resident identified himself as the next-door neighbor and voiced his opinion that the  
254 pool under construction on the same property appears to be too close to the water.

255 Discussion ensued regarding the Easement Vacation Sketch, extent of the Easement  
256 Vacation sought, the pool plans and the Boundary Spot Survey.

257 This item was tabled to the next meeting and a FL Lifestyle Homes representative would  
258 be asked to attend the next meeting to provide more information.

259 Ms. Wild presented the homeowner’s questions about landscaping.

260 Projects constructed before formation of the Design Review Committee (DRC) were  
261 discussed.

262 Mr. Marquardt suggested the homeowner file a request for a landscaping  
263 encroachment.

264 Discussion ensued about encroachments approved retroactively for docks and fences.

265 Mr. Marquardt would work with Ms. Wild to compile an inventory of landscaping.

266 Ms. Sanchez noted that the CDD does not currently have an Encroachment Agreement  
267 for landscaping. Ms. Magaldi stated the general Encroachment Agreement can be completed  
268 with a detailed sketch attached as Exhibit A.

269 A Board Member noted that anything approved as an encroachment on the easement  
270 will be recorded on the title. Ms. Wild stated she will encourage the homeowner to remove  
271 landscaping from the easement. The approval letter from the DRC and the HOA will include a  
272 statement that the CDD will not replace landscaping encroaching in easements.

273

274 **TENTH ORDER OF BUSINESS**

**Ratification of Fence Encroachment  
275 Agreement for 14191 Charthouse Court**

276

277 Ms. Sanchez presented the Fence Encroachment Agreement for 14191 Charthouse  
278 Court, previously executed by the Chair.

279

**On MOTION by Ms. Godfrey and seconded by Ms. Hill, with all in favor, the  
281 Fence Encroachment Agreement for 14191 Charthouse Court, was ratified.**

282

283

284 **ELEVENTH ORDER OF BUSINESS****Acceptance of Unaudited Financial  
Statements as of June 30, 2022**285  
286

287 Ms. Sanchez presented the Unaudited Financial Statements as of June 30, 2022. On  
288 Page 2, the “Engineering stormwater analysis” will be moved from “Field Operations” to the  
289 “Administrative” section and the totals will be recoded accordingly.

290

291 **On MOTION by Mr. Marquardt and seconded by Ms. Harmon, with all in favor,**  
292 **the Unaudited Financial Statements as of June 30, 2022, were accepted.**

293  
294295 **TWELFTH ORDER OF BUSINESS****Approval of June 2, 2022 Regular Meeting  
Minutes**296  
297

298 Ms. Sanchez presented the June 2, 2022 Regular Meeting Minutes.

299

300 **On MOTION by Mr. Marquardt and seconded by Ms. Godfrey, with all in favor,**  
301 **the June 2, 2022 Regular Meeting Minutes, as presented, were approved.**

302  
303304 **THIRTEENTH ORDER OF BUSINESS****Other Business**

305

306 Ms. Hill recalled a suggestion that a Project Management Report be kept to track open  
307 items, responsibility and due dates. Ms. Sanchez would email an Action Items List template to  
308 the Board following the meeting and items may be included on the next agenda. Ms. Hill  
309 wanted lingering homeowner issues to be added as action items.

310

311 **FOURTEENTH ORDER OF BUSINESS****Staff Reports**

312

313 **A. District Counsel: *Coleman, Yovanovich & Koester, P.A.***

314 Ms. Magaldi stated the HOA will be developing and enforcing rules and procedures for  
315 recreational use of the lakes. A copy will be provided for review to ensure that nothing impedes  
316 any stormwater management functions.

317 **B. District Engineer: *Hole Montes, Inc.***318 **• Drainage Easements and Lake Conveyance Maps**

319 Mr. Cole stated the South Florida Water Management District (SFWMD) inspected for  
320 noncompliance issues two weeks ago. Mr. Mike Rottis inspected the lakes and signed off on all

321 but two issues. After unsuccessfully trying to have the Developer address the issue, an  
322 aluminum weir plate was corrected. Mr. Cole stated he will ask the contractor to submit an  
323 invoice showing Naples Reserve CDD.

324

325 **On MOTION by Mr. Marquardt and seconded by Ms. Godfrey, with all in favor,**  
326 **the Halakala Construction, Inc., proposal, in the amount of \$954.98, was**  
327 **approved.**

328

329

330 Mr. Cole stated the builder or Developer failed to remove two catch basin inserts  
331 collecting runoff and debris. Earth View submitted a \$1,000 proposal to remove and dispose of  
332 the inserts and clean the catch basins.

333 Mr. Marquardt stated a complaint was received and Stock Developers will accept  
334 responsibility for Stock homes. Mr. Cole was not certain of the address. He requested approval  
335 of the expenditure to address it quickly if it is not the responsibility of Stock Developers.

336

337 **On MOTION by Mr. Marquardt and seconded by Ms. Harmon, with all in favor,**  
338 **the expenditure of funds, in the event Stock Developers cannot remove the**  
339 **catch basin inserts, was approved.**

340

341

342 Mr. Cole stated the grass lake banks need to be weeded and mowed but silt fences are  
343 still in place. He did not believe lake erosion totaling \$300,000 has occurred, as the HOA  
344 asserted, but, if there is a specific location to inspect, he will do so.

345 Mr. Cole presented a request for a Generator Agreement on Stillwater Way; there was  
346 no issue with the request. Ms. Sanchez will forward the information to District Counsel to  
347 prepare the Generator Encroachment Agreement.

348 Mr. Cole presented an email from the DRC; there was no issue with the request.

349 Mr. Cole presented a request for a walkway on a swale at 14384 Neptune Avenue.

350 Discussion ensued regarding the survey revision to correct placement of the dock and to  
351 add Mr. Cole's notes. Ms. Sanchez believed the request was completed.

352 Mr. Cole discussed a request for an Encroachment Agreement for 14475 Stillwater Way.  
353 Ms. Sanchez stated that was addressed.

354 **C. Operations Manager: *Shane Willis***

355 Mr. Willis stated he reviewed the Cardno contract. Cardno does water quality testing  
356 but only tests for chlorides. He suggested biannual water quality testing.

357 Mr. Willis stated he met with a resident from Kelson Circle who is concerned about  
358 erosion related to downspouts. He advised the resident and responded to questions.

359 Mr. Willis stated he met with a Stillwater Way resident concerned about the appearance  
360 of the water. He showed him the lake bank and answered questions.

361 **D. District Manager: *Wrathell, Hunt and Associates, LLC***

362 Ms. Sanchez asked if the Agreement with HOA for oversight should be terminated at the  
363 next meeting. Mr. Urbancic replied affirmatively, as a cleanup matter.

364 • **NEXT MEETING DATE: September 1, 2022 at 10:30 AM**

365 ○ **QUORUM CHECK**

366 The next meeting would be held on September 1, 2022, unless cancelled.

367

368 **FIFTEENTH ORDER OF BUSINESS**

**Public Comments**

369

370 Mr. Soffer stated there is a large bump 7' from his pool, which is supposed to be a main  
371 drain. He stated the drain floods all the time and asked if it has a direct connection or if it is just  
372 a drain. He asked if the drain has an out into the lake. When he brought the issue to the HOA's  
373 attention, the drain was not flooding. Mr. Marquardt stated, if it is not draining in dry season,  
374 there might be an issue to address. Mr. Cole stated the big lake in the middle and the big lake  
375 to the north are not internal water management lakes; those lakes receive water. He described  
376 that water control structures and features that affect drainage.

377

378 **SIXTEENTH ORDER OF BUSINESS**

**Supervisors' Requests**

379

380 Mr. Marquardt stated he and Heidi will work on the e-blast to residents previously  
381 discussed.

382

383 **SEVENTEENTH ORDER OF BUSINESS**

**Adjournment**

384

385

386 **On MOTION by Mr. Marquardt and seconded by Ms. Hill, with all in favor, the**  
387 **meeting adjourned at 12:51 p.m.**



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\_\_\_\_\_  
Secretary/Assistant Secretary

\_\_\_\_\_  
Chair/Vice Chair

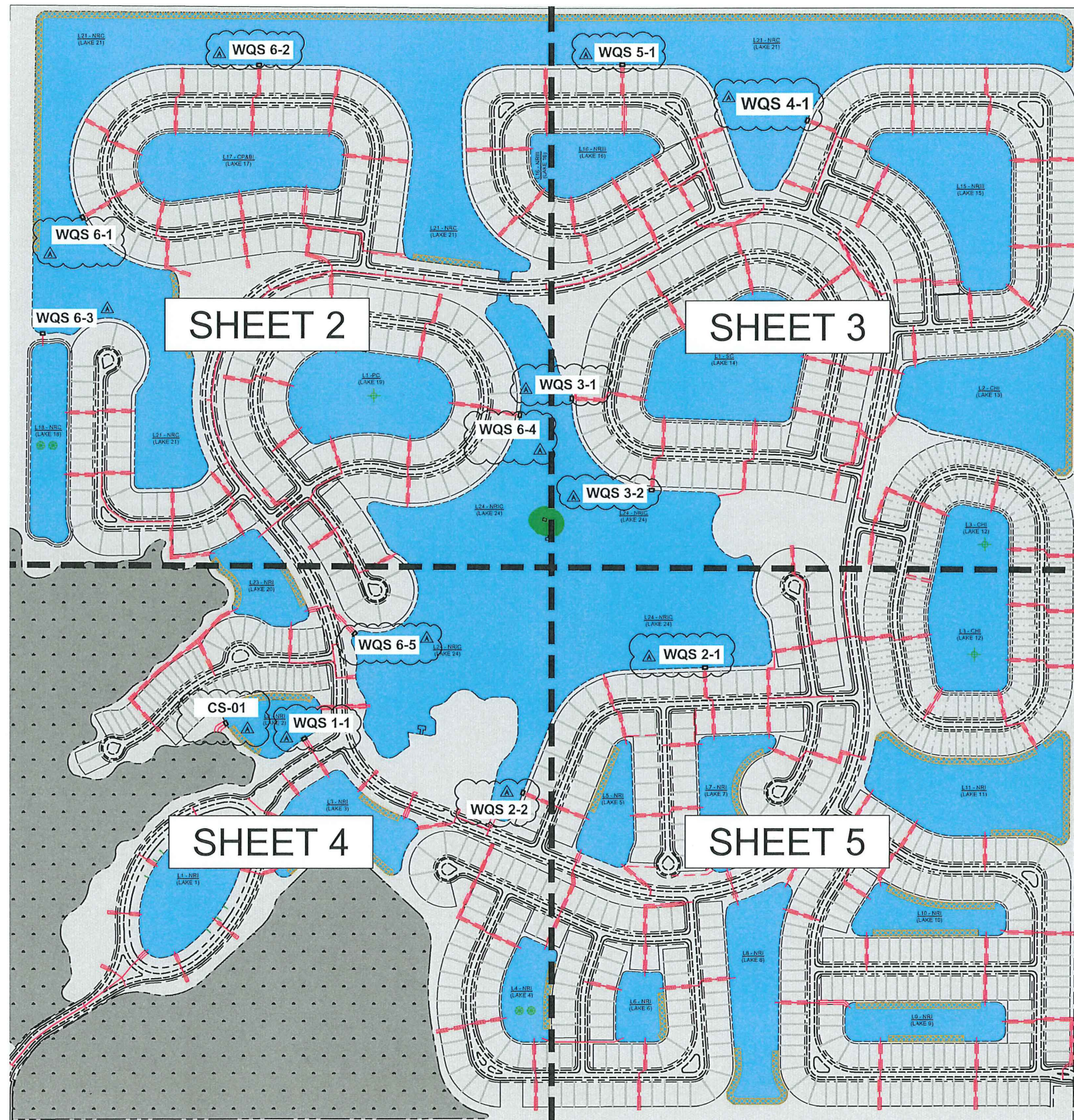
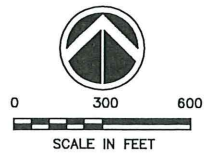
**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**STAFF  
REPORTS**

**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**B**





LAKE	AREA (Ac.)	LAKE LITTORAL AREA (Ac.)
1	5.5	
2	2.7	.46
3	4.6	.79
4	2.6	.23
5	2.6	.23
6	1.9	.16
7	4.1	.42
8	6.1	.53
9	3.5	.68
10	3.2	.74
11	9.1	1.28
12	7.5	
13	8.8	.54
14	9.2	
15	7.5	
16	3.5	
17	6.7	
18	4.0	
19	7.0	
20	3.2	.35
21	61.1	5.00
24	50.0	
TOTAL	214.4	11.41

NOTES:

- ALL LAKES, STORMWATER MANAGEMENT PIPING AND PRESERVE SHALL BE MAINTAINED BY THE NAPLES RESERVE HOMEOWNERS ASSOCIATION, INC.
- THE DEVELOPMENT IS ZONED 'RPUD'.

LEGEND

L21 - NRC = LAKE # PER PLAT  
(LAKE 21) = (ORIGINAL LAKE #)

- COMMUNITY DEVELOPMENT DISTRICT LANDS
- LAKE TRACTS CONVEYED TO CDD
- PRESERVE TRACTS MAINTAINED BY HOA
- DRAINAGE EASEMENTS AND PIPES MAINTAINED BY CDD
- LAKE LITTORAL AREA

LETTER	REVISIONS	DATE
A	ADDED WCS's & WQS's	5/22

**NAPLES RESERVE**

DESIGNED BY	W.W.B.	DATE	2/21
DRAWN BY	W.W.B.	DATE	2/21
CHECKED BY	W.T.C.	DATE	2/21
VERTICAL SCALE	N/A	HORIZONTAL SCALE	1"=300'

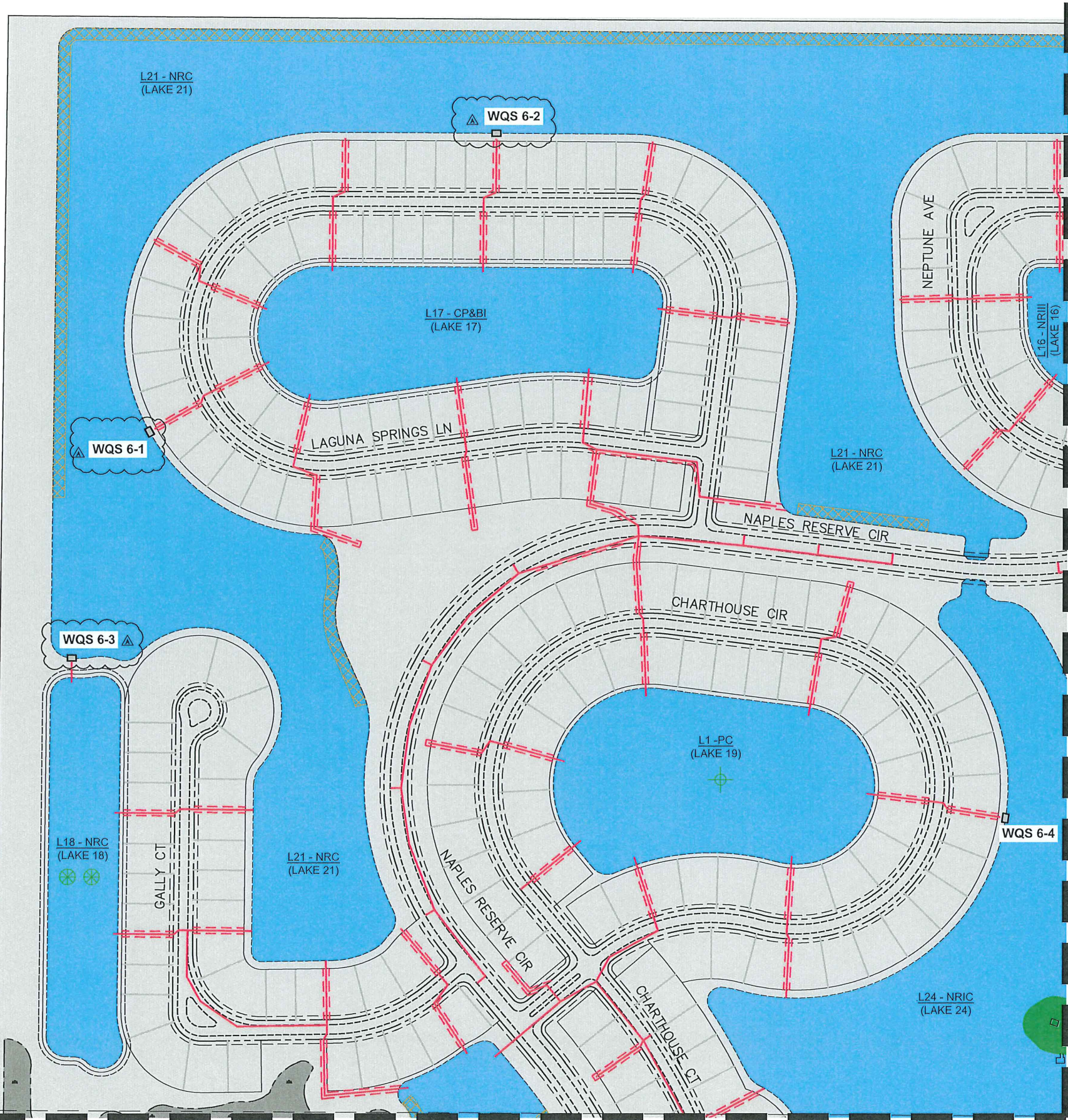
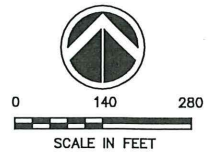


950 Encore Way  
Naples, FL 34110  
Phone: (239) 254-2000  
Florida Certificate of  
Authorization No.1772

**CDD DRAINAGE EASEMENTS  
and LAKE CONVEYANCE MAPS**

THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:	REFERENCE NO.	DRAWING NO.
DATE _____	SEE PLOTSTAMP	5008-1
	PROJECT NO.	SHEET NO.
	2013.030	1 OF 5





MATCHLINE - SEE SHEET 3

MATCHLINE - SEE SHEET 4

**LEGEND**

L21 - NRC = LAKE # PER PLAT  
(LAKE 21) = (ORIGINAL LAKE #)

- COMMUNITY DEVELOPMENT DISTRICT LANDS
- LAKE TRACTS CONVEYED TO CDD
- PRESERVE TRACTS MAINTAINED BY HOA
- DRAINAGE EASEMENTS AND PIPES MAINTAINED BY CDD
- LAKE LITTORAL AREA

PLAT	REFERENCE
C.H.I	CORAL HARBOR PHASE I
C.P. & B.I.	CRANE POINT & BIMINI ISLE
N.R.C.	NAPLES RESERVE CIRCLE
N.R.I.C.	NAPLES RESERVE ISLAND CLUB
N.R.I	NAPLES RESERVE PHASE I
N.R.II	NAPLES RESERVE PHASE II
N.R.III	NAPLES RESERVE PHASE III
P.C.	PARROT CAY
S.C.	SUTTON CAY

**NOTES:**

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2. THE DEVELOPMENT IS ZONED 'RPUD'.

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LETTER	REVISIONS	DATE
△	ADDED WCS's & WQS's	5/22

**NAPLES RESERVE**

DESIGNED BY	W.W.B.	DATE	2/21
DRAWN BY	W.W.B.	DATE	2/21
CHECKED BY	W.T.C.	DATE	2/21
VERTICAL SCALE	N/A	HORIZONTAL SCALE	1"=140'



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Naples, FL 34110  
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**CDD DRAINAGE EASEMENTS  
and LAKE CONVEYANCE MAPS**

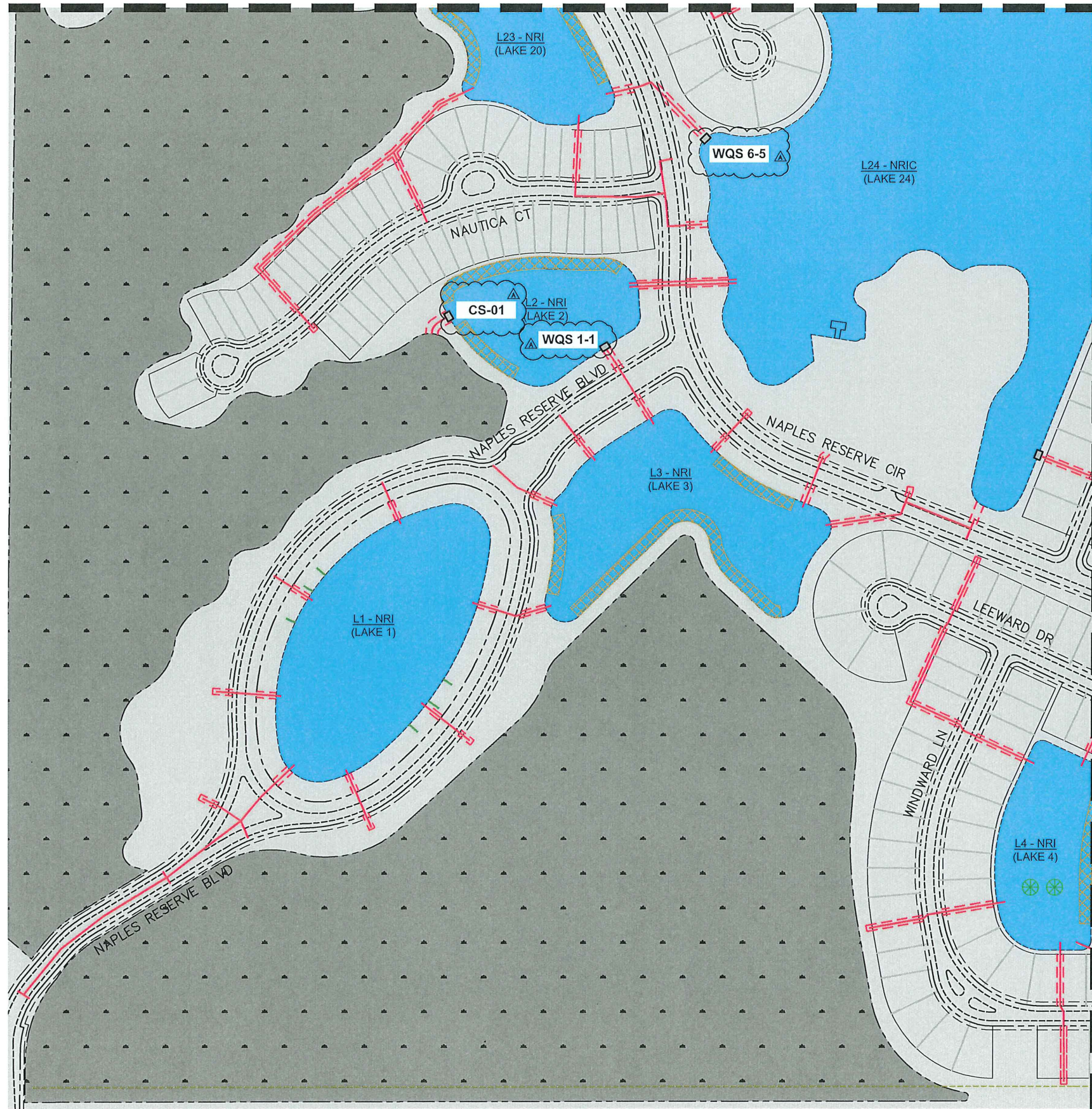
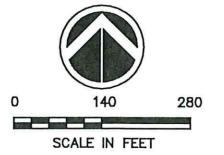
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DATE _____	SEE PLOTSTAMP	2005-02
	PROJECT NO.	SHEET NO.
	2013.030	2 OF 5







MATCHLINE - SEE SHEET 2



MATCHLINE - SEE SHEET 5

LEGEND

L21 - NRC = LAKE # PER PLAT  
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- COMMUNITY DEVELOPMENT DISTRICT LANDS
- LAKE TRACTS CONVEYED TO CDD
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- LAKE LITTORAL AREA

PLAT	REFERENCE
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C.P.& B.I.	CRANE POINT & BIMINI ISLE
N.R.C.	NAPLES RESERVE CIRCLE
N.R.I.C.	NAPLES RESERVE ISLAND CLUB
N.R.I	NAPLES RESERVE PHASE I
N.R.II	NAPLES RESERVE PHASE II
N.R.III	NAPLES RESERVE PHASE III
P.C.	PARROT CAY
S.C.	SUTTON CAY

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H:\2013\2013030\1\N\N\2013\_030\_PRESERVE\_TO\_HOA\2013\_030\_PRESERVE\_TO\_HOA.dwg, 2/21/21, 10:18am, Plotted by: hml

LETTER	REVISIONS	DATE
△	ADDED WCS's & WQS's	5/22

NAPLES RESERVE

DESIGNED BY W.W.B.	DATE 2/21
DRAWN BY W.W.B.	DATE 2/21
CHECKED BY W.T.C.	DATE 2/21
VERTICAL SCALE N/A	HORIZONTAL SCALE 1"=140'



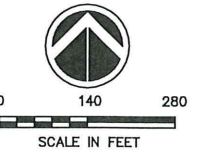
950 Encore Way  
Naples, FL. 34110  
Phone: (239) 254-2000  
Florida Certificate of  
Authorization No.1772

CDD DRAINAGE EASEMENTS and LAKE CONVEYANCE MAPS

THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:	REFERENCE NO. SEE PLOTSTAMP	DRAWING NO. 5008-04
DATE _____	PROJECT NO. 2013.030	SHEET NO. 4 OF 5









MATCHLINE - SEE SHEET 3



LEGEND

L21 - NRC = LAKE # PER PLAT  
(LAKE 21) = (ORIGINAL LAKE #)

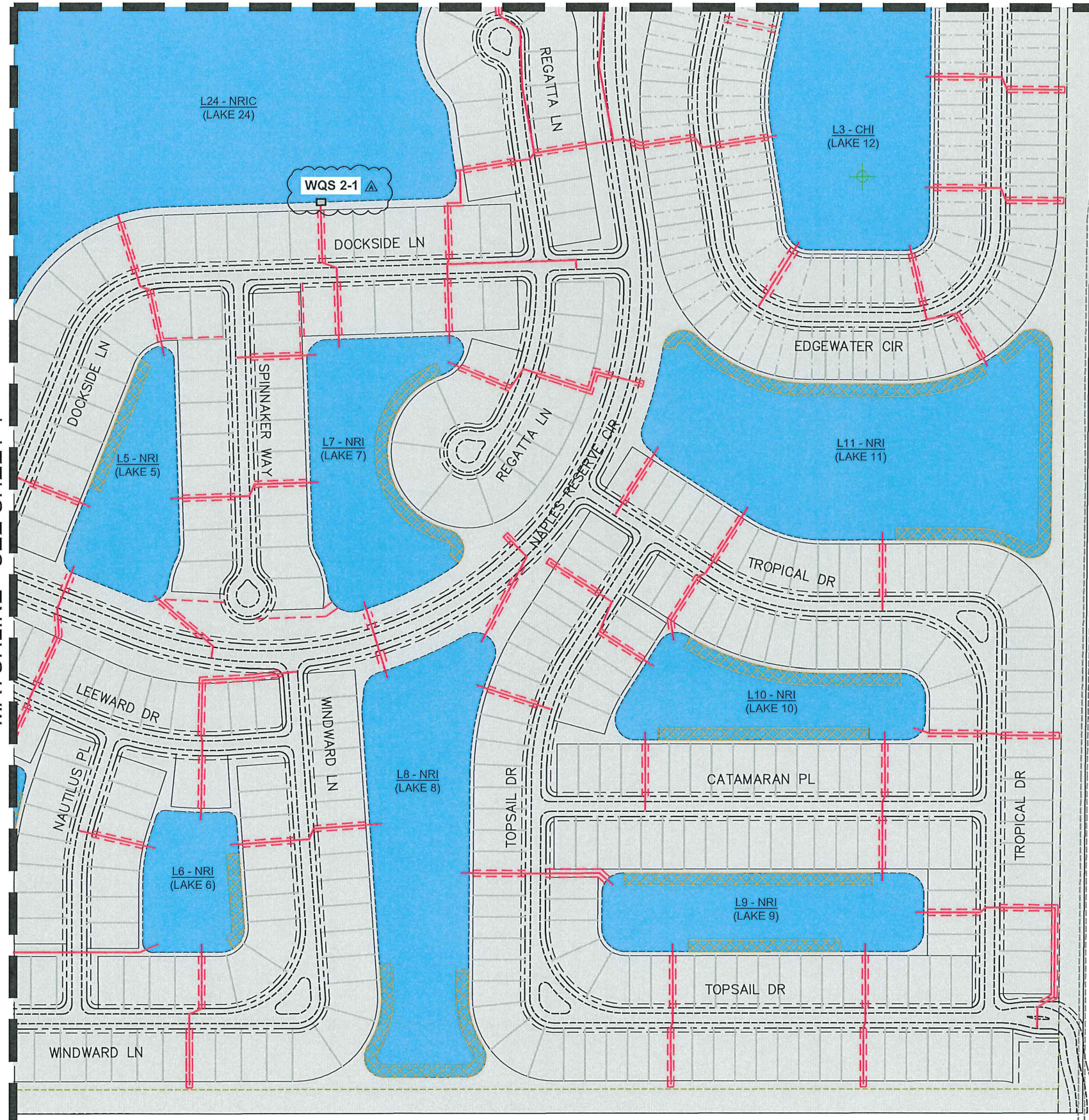
-  COMMUNITY DEVELOPMENT DISTRICT LANDS
-  LAKE TRACTS CONVEYED TO CDD
-  PRESERVE TRACTS MAINTAINED BY HOA
-  DRAINAGE EASEMENTS AND PIPES  
 MAINTAINED BY CDD
-  LAKE LITTORAL AREA

PLAT	REFERENCE
C.H.I.	CORAL HARBOR PHASE I
C.P.& B.I.	CRANE POINT & BIMINI ISLE
N.R.C.	NAPLES RESERVE CIRCLE
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N.R.I	NAPLES RESERVE PHASE I
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N.R.III	NAPLES RESERVE PHASE III
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S.C.	SUTTON CAY

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2. THE DEVELOPMENT IS ZONED 'RPUD'.

MATCHLINE - SEE SHEET 4



H:\2013\2013030\Drawings\5008-CDD\_PRESERVE TO HOA\5008-CDD\_PRESERVE TO HOA\5008-CDD\_PRESERVE TO HOA.dwg 5008-CDD\_PRESERVE TO HOA.dwg 5008-CDD\_PRESERVE TO HOA.dwg 5008-CDD\_PRESERVE TO HOA.dwg 5008-CDD\_PRESERVE TO HOA.dwg 5008-CDD\_PRESERVE TO HOA.dwg  
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LETTER	REVISIONS	DATE
ADD	ADDED WCS's & WQS's	5/22

NAPLES RESERVE

DESIGNED BY	W.W.B.	DATE	2/21
DRAWN BY	W.W.B.	DATE	2/21
CHECKED BY	W.T.C.	DATE	2/21
VERTICAL SCALE	N/A	HORIZONTAL SCALE	1"=140'



950 Encore Way  
Naples, FL 34110  
Phone: (239) 254-2000  
Florida Certificate of  
Authorization No. 1772

CDD DRAINAGE EASEMENTS  
and LAKE CONVEYANCE MAPS

THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:  DATE _____	REFERENCE NO. SEE PLOTSTAMP PROJECT NO. 2013.030	DRAWING NO. 5008-5 SHEET NO. 5 OF 5
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**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**C**



**Wrathell, Hunt and Associates, LLC**

TO: Naples Reserve CDD Board of Supervisors  
FROM: Shane Willis – Operations Manager  
DATE: September 1, 2022  
SUBJECT: Status Report – Field Operations

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**SOLITUDE:**

- Aeration & Lake Management agreements expire in November & December, with one-year automatic renewals taking place.
- The remaining lake pipes have water depth markers on them.
- July maintenance visits: July 7, 14, 21, 28.

**NAPIER:**

- Retainage of 10% is expected to be released 9.5.22 as the sod appears to have taken.

**MISCELLANEOUS:**

- Resident Interactions:
  - 8.23.22 Neptune Ave. Resident called about algae along the lake bank in Lake 21, work order placed with Solitude. I was later informed that they had treated it the day before my work order and would review it again on 8.29.22.
  - 8.21.22 Galley Ct Resident emailed about algae in the lake behind their home, after review it was determined that the material was actually treated weeds that were dissolving into the water column.
  - 8.19.22 Stern Way Resident emailed about excessive bank weeds, after visiting the site a work order was placed with Solitude. Treatment expected during 8.29.22 scheduled visit.
  - 8.5.22 Windward Lane Resident called about possible algae on the lake behind her home. After a site visit a work order was called in, Solitude reported that they treated this on 8.11.22.

14257 Charthouse Cir.









14293 Charthouse Cir.





**NAPLES RESERVE  
COMMUNITY DEVELOPMENT DISTRICT**

**D**

**NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT**

**BOARD OF SUPERVISORS FISCAL YEAR 2022/2023 MEETING SCHEDULE**

**LOCATION**

*Island Club at Naples Reserve, 14885 Naples Reserve Circle, Naples, Florida 34114*

<b>DATE</b>	<b>POTENTIAL DISCUSSION/FOCUS</b>	<b>TIME</b>
<b>October 6, 2022</b>	<b>Regular Meeting</b>	<b>10:30 AM</b>
<b>December 1, 2022</b>	<b>Regular Meeting</b>	<b>10:30 AM</b>
<b>February 2, 2023</b>	<b>Regular Meeting</b>	<b>10:30 AM</b>
<b>March 2, 2023</b>	<b>Regular Meeting</b>	<b>10:30 AM</b>
<b>May 4, 2023</b>	<b>Regular Meeting</b>	<b>10:30 AM</b>
<b>June 1, 2023</b>	<b>Regular Meeting</b>	<b>10:30 AM</b>
<b>August 3, 2023</b>	<b>Public Hearing &amp; Regular Meeting</b>	<b>10:30 AM</b>
<b>September 7, 2023</b>	<b>Regular Meeting</b>	<b>10:30 AM</b>