

**NAPLES RESERVE
COMMUNITY DEVELOPMENT
DISTRICT**

August 4, 2022

**BOARD OF SUPERVISORS
PUBLIC HEARING AND
REGULAR MEETING
AGENDA**

Naples Reserve Community Development District
OFFICE OF THE DISTRICT MANAGER
2300 Glades Road, Suite 410W•Boca Raton, Florida 33431
Phone: (561) 571-0010•Toll-free: (877) 276-0889•Fax: (561) 571-0013

July 28, 2022

Board of Supervisors
Naples Reserve Community Development District

<p><u>ATTENDEES:</u> Please identify yourself each time you speak to facilitate accurate transcription of meeting minutes.</p>

Dear Board Members:

The Board of Supervisors of the Naples Reserve Community Development District will hold a Public Hearing and Regular Meeting on August 4, 2022 at 10:30 a.m., at the Island Club at Naples Reserve, Activities Room, 14885 Naples Reserve Circle, Naples, Florida 34114. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comments
3. Chair's Opening Remarks
4. Service Provider Reports
 - A. Cardno
 - B. SOLitude Lake Management, LLC
 - I. June 21, 2022
 - II. July 7, 2022
 - C. Napier Sprinkler, Inc.
5. Public Hearing on Adoption of Fiscal Year 2022/2023 Budget
 - A. Affidavit of Publication
 - B. Consideration of Resolution 2022-08, Relating to the Annual Appropriations and Adopting the Budget for the Fiscal Year Beginning October 1, 2022, and Ending September 30, 2023; Authorizing Budget Amendments; and Providing an Effective Date
6. Consideration of Resolution 2022-09, Making a Determination of Benefit and Imposing Special Assessments for Fiscal Year 2022/2023; Providing for the Collection and Enforcement of Special Assessments, Including but Not Limited to Penalties and Interest Thereon; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date

7. Consideration of Addendum #2 to Management Services Agreement [Field Operations]
8. Discussion/Consideration of Lot Encroachments [Parrot Cay Lots 63, 65, 70 & 77]
 - A. 14257 Charthouse Circle, Lot 70
 - I. Letter Regarding Unauthorized Pool Encroachment into District Easements
 - II. Letter Sent from Property Owner to HOA
 - B. 14301 Charthouse Circle, Lot 63
 - C. 14293 Charthouse Circle, Lot 65
 - D. 14219 Charthouse Circle, Lot 77
9. Discussion/Consideration of Easement Use Agreement [14361 Charthouse Circle, Lot 53]
 - A. Collier County Government Corrections Letter [1st Single Family]
 - B. Collier County Government Corrections Letter [2nd Single Family]
 - C. New Build Plans
 - D. Pool Application Approval
 - E. Propane Tank Plans
 - F. Easement Vacation Sketch
 - G. Boundary Spot Survey (Approved)
10. Ratification of Fence Encroachment Agreement for 14191 Charthouse Court
11. Acceptance of Unaudited Financial Statements as of June 30, 2022
12. Approval of June 2, 2022 Regular Meeting Minutes
13. Other Business
14. Staff Reports
 - A. District Counsel: *Coleman, Yovanovich & Koester, P.A.*
 - B. District Engineer: *Hole Montes, Inc.*
 - Drainage Easements and Lake Conveyance Maps
 - C. Operations Manager: *Shane Willis*
 - D. District Manager: *Wrathell, Hunt and Associates, LLC*

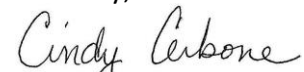
- NEXT MEETING DATE: September 1, 2022 at 10:30 AM
 - QUORUM CHECK

CHARLENE HILL	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
THOMAS MARQUARDT	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
DEBORAH LEE GODFREY	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
GREGORY INEZ	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
ANNA HARMON	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO

15. Public Comments
16. Supervisors' Requests
17. Adjournment

Should you have any questions and/or concerns, please feel free to contact me directly at (561) 346-5294 or Jamie Sanchez (561) 512-9027.

Sincerely,


Cindy Carbone
District Manager

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

3

----- Forwarded message -----

From: **Naples Reserve DRC** <naplesreservedrc@gmail.com>

Date: Wed, Jun 15, 2022 at 9:10 AM

Subject: Proposed Emergency Boat Ramp Location

To: Tom Marquardt <marg1948@gmail.com>, Capt Brian <nramenities@gmail.com>, Donald Skenderian <donskins@gmail.com>, William Kutner <vicepresident@naplesreservehoa.com>

Hello Tom,

The DRC along with Captain Brain has discovered a potential problem with the ability to remove a boat or aid in a rescue if the water levels are too high to pass under the bridge to get to the rowing side of the bridge. As you know, there are times during the rainy season that the levels in the lakes are so high that you can not travel under the bridge to the rowing lane or to Eagle Lake. If homeowners have a boat on the rowing side of the bridge and the water level is too high to pass and a hurricane is coming, those boat owners will not be able to remove their boats from the lake. This could cause property damage and lake damage. We believe we have found a location that will not only help to remove a boat in the event as described but also in the event someone needs assistance with a water rescue. Please see the attached map with the arrow indicating the potential emergency boat ramp location. There is a clearing in this area and no trees need to be removed. It is off of Naples Reserve Circle, in between Halfmoon Point and Canoe Landing. If you would like to meet the Captain and a few members of the DRC there, please let me know.

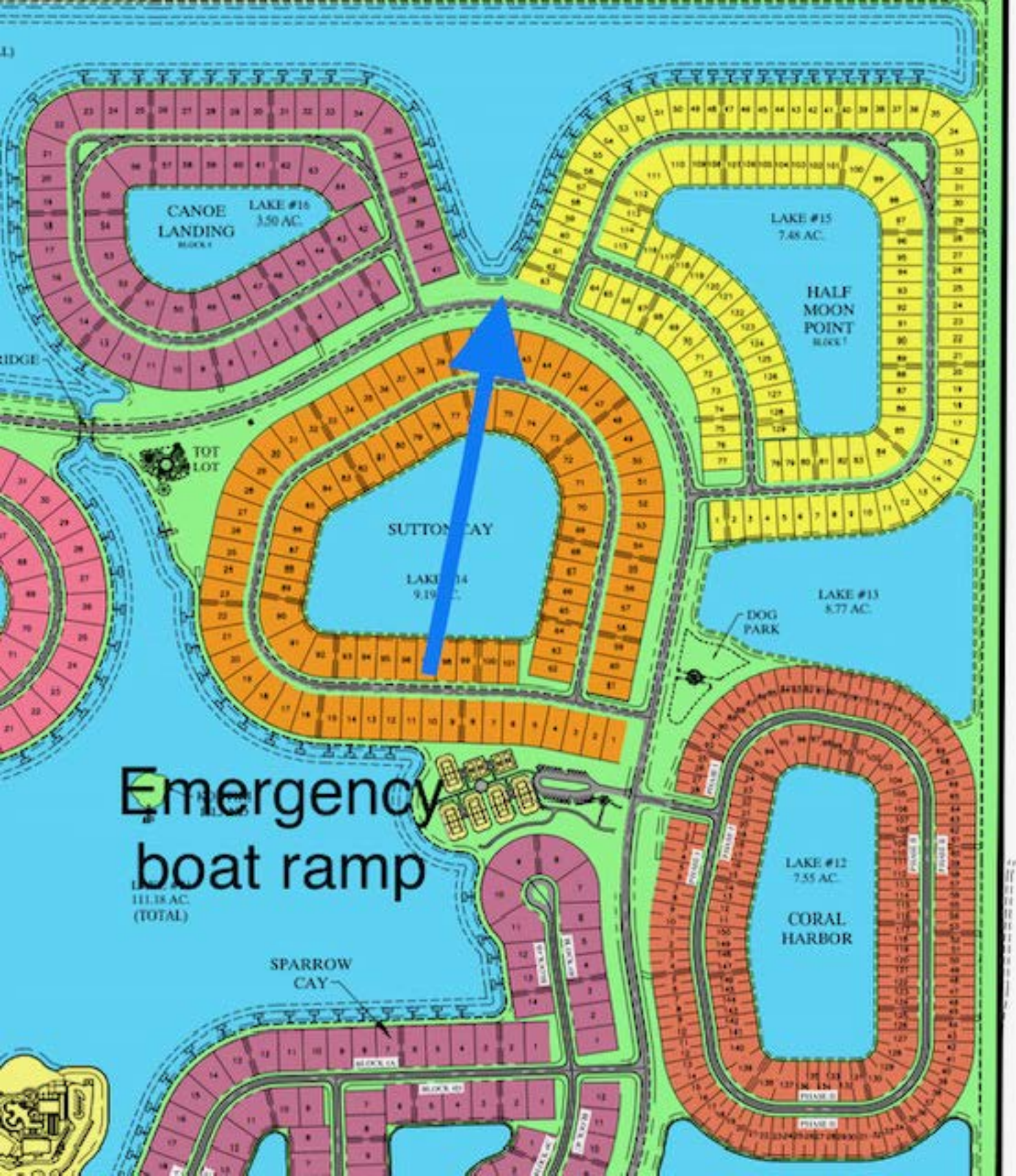
Thank you,

Lisa Wild

Naples Reserve Design Review Committee Co Chairperson

--

Tom Marquardt



Emergency
boat ramp

111.18 AC.
(TOTAL)

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

4BI



Service History Report

June 21, 2022
50097

Naples Reserve CDD

Date Range: 05/01/22..05/31/22

Toll Free: (888) 480-5253
Fax: (888) 358-0088
www.solitudelakemanagement.com

Service Date 5/5/2022 14221
No. PI-A00810261
Order No. SMOR-595344
Contract No. SVR56788

Technician Name and State License #s

Eggy Suarez (FL-CM22494)

Service Item #	Description	Lake No.	Lake Name
14221-LAKE-ALL	Naples Reserve CDD - Lake All		Lake All
Technician's Comments:	Treated lakes for grasses and vines on littorals, shorelines and banks. Trashremoval. Water level low.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			OK
Inspected for Undesirable Shoreline Vegetation			Treated
Trash & Light Debris Removal			Removed for repair

Service Date 5/12/2022 14221
No. PI-A00812511
Order No. SMOR-597507
Contract No. SVR56788

Technician Name and State License #s

Eggy Suarez (FL-CM22494)

Service Item #	Description	Lake No.	Lake Name
14221-LAKE-ALL	Naples Reserve CDD - Lake All		Lake All
Technician's Comments:	Treated lakes for grasses and brushes on shorelines and banks. Trash removal.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			OK
Inspected for Undesirable Shoreline Vegetation			Treated
Trash & Light Debris Removal			Removed for repair

Service Date 5/19/2022 14221
No. PI-A00817299
Order No. SMOR-599868
Contract No. SVR56788

Technician Name and State License #s

Eggy Suarez (FL-CM22494)

Service Item #	Description	Lake No.	Lake Name
14221-LAKE-ALL	Naples Reserve CDD - Lake All		Lake All
Technician's Comments:	Treated lakes for grasses on littorals, banks and shorelines. Trash removal. Water level low.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			OK
Inspected for Undesirable Shoreline Vegetation			Treated
Trash & Light Debris Removal			Removed for repair

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Service Date	5/26/2022	14221
No.	PI-A00818497	
Order No.	SMOR-601887	
Contract No.	SVR56788	
Technician Name and State License #s	Eggy Suarez (FL-CM22494)	

Service Item #	Description	Lake No.	Lake Name
14221-LAKE-ALL	Naples Reserve CDD - Lake All		Lake All
Technician's Comments:	Treated lakes for grasses and brushes on banks and shorelines. Trash removal.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			OK
Inspected for Undesirable Shoreline Vegetation			Treated
Trash & Light Debris Removal			Removed for repair

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

4B11



Service History Report

July 7, 2022
50097

Naples Reserve CDD

Date Range: 06/01/22..06/30/22

Toll Free: (888) 480-5253
Fax: (888) 358-0088
www.solitudelakemanagement.com

Service Date 6/2/2022 14221
No. PI-A00821037
Order No. SMOR-608290
Contract No. SVR56788
Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Table with 4 columns: Service Item #, Description, Lake No., Lake Name. Includes inspection details for Naples Reserve CDD - Lake All, such as 'Inspected all lakes for grasses, algae and submerged vegetation. Trash removal.'

Service Date 6/14/2022 14221
No. PI-A00833786
Order No. SMOR-609713
Contract No. SVR56788
Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Table with 4 columns: Service Item #, Description, Lake No., Lake Name. Includes inspection details for Naples Reserve CDD - Lake All, such as 'Inspected all lakes for grasses, algae and submerged and floating vegetation. Trash removal. Water level recovering. Treated lakes for grasses.'

Service Date 6/15/2022 14221
No. PI-A00833732
Order No. SMOR-588746
Contract No. SVR56690
Technician Name and State License #s
Eric Carnall

Service Item #	Description	Lake No.	Lake Name	
14221-AERATOR-001	Naples Reserve CDD Aerator 1 Pond 4	4	Pond 4	
Technician's Comments:	Aeration Maintenance.- Cleaned cabinet, changed filter, Balanced diffusers.			
General Comments:	Serviced Aeration System			
Aerator Amps			Aerator Voltage	
Air Delivery Tubing	OK		Air Filter	OK
Control Valves	OK		Cooling Fan	OK
Diffusers Fixed/Replaced			Diffusers Running	
Inlet Check Valve	OK		Muffler Jar	OK
Pressure	OK		Pressure Gauge	OK
Pressure Relief Valve	OK			

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Service Date **6/22/2022** **14221**

No. PI-A00836436

Order No. SMOR-608282

Contract No. SVR56776

Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Service Item #	Description	Lake No.	Lake Name
14221-LAKE-ALL	Naples Reserve CDD - Lake All		Lake All
Technician's Comments:	Treated lakes for algae on irrigation intakes as requested.		
General Comments:	Inspected Lake		
Inspected for algae			Treated

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Service Date **6/22/2022** **14221**

No. PI-A00836682

Order No. SMOR-612808

Contract No. SVR56788

Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Service Item #	Description	Lake No.	Lake Name
14221-LAKE-ALL	Naples Reserve CDD - Lake All		Lake All
Technician's Comments:	Inspected lakes for grasses, algae and aquatic plants. Treated lakes for grasses. Trash removal. Water level high.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			OK
Inspected for Undesirable Shoreline Vegetation			Treated
Trash & Light Debris Removal			Removed for repair

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Service Date **6/30/2022** **14221**

No. PI-A00840960

Order No. SMOR-614330

Contract No. SVR56788

Technician Name and State License #s
Eggy Suarez (FL-CM22494)

Service Item #	Description	Lake No.	Lake Name
14221-LAKE-ALL	Naples Reserve CDD - Lake All		Lake All
Technician's Comments:	Inspected all lakes for grasses, algae and aquatic plants. Water level high.		
General Comments:	Inspected Lake		
Inspected for Aquatic Weeds			OK
Inspected for algae			OK
Inspected for Undesirable Shoreline Vegetation			OK
Trash & Light Debris Removal			Removed for repair

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

5A

Miscellaneous Notices



Published in Naples Daily News on July 15, 2022

Location

Collier County,

Notice Text

NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT NOTICE OF PUBLIC HEARING TO CONSIDER THE ADOPTION OF THE FISCAL YEAR 2022/2023 BUDGET; AND NOTICE OF REGULAR BOARD OF SUPERVISORS' MEETING. The Board of Supervisors ("Board") of the Naples Reserve Community Development District ("District") will hold a public hearing on August 4, 2022 at 10:30 a.m., at the Island Club at Naples Reserve, 14885 Naples Reserve Circle, Naples, Florida 34114 for the purpose of hearing comments and objections on the adoption of the proposed budget ("Proposed Budget") of the District for the fiscal year beginning October 1, 2022 and ending September 30, 2023 ("Fiscal Year 2022/2023"). A regular board meeting of the District will also be held at that time where the Board may consider any other business that may properly come before it. A copy of the agenda and Proposed Budget may be obtained at the offices of the District Manager, c/o Wrathell, Hunt and Associates, LLC, 2300 Glades Road, Suite 410W, Boca Raton, Florida 33431, Phone: (561) 571-0010 ("District Manager's Office"), during normal business hours, or on the District's website, <http://naplesreservecdd.net/>. The public hearing and meeting are open to the public and will be conducted in accordance with the provisions of Florida law. The public hearing and meeting may be continued to a date, time, and place to be specified on the record at the hearing and meeting. There may be occasions when Board Supervisors or District Staff may participate by speaker telephone. Any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Manager's Office at least forty-eight (48) hours prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) / 1-800-955-8770 (Voice), for aid in contacting the District Manager's Office. Each person who decides to appeal any decision made by the Board with respect to any matter considered at the public hearing and meeting is advised that person will need a record of proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based. District Manager Pub Date: July 15, 18, 2022 #5333347

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

5B

RESOLUTION 2022-08

THE ANNUAL APPROPRIATION RESOLUTION OF THE NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT (“DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2022, AND ENDING SEPTEMBER 30, 2023; AUTHORIZING BUDGET AMENDMENTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the District Manager has, prior to the fifteenth (15th) day in June, 2022, submitted to the Board of Supervisors (“**Board**”) of the Naples Reserve Community Development District a proposed budget for the fiscal year beginning October 1, 2022 and ending September 30, 2023 (“**Fiscal Year 2022/2023**”) along with an explanatory and complete financial plan for each fund of the District, pursuant to the provisions of Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, at least sixty (60) days prior to the adoption of the Proposed Budget, the District filed a copy of the Proposed Budget with the local governing authorities having jurisdiction over the area included in the District pursuant to the provisions of Section 190.008(2)(b), *Florida Statutes*; and

WHEREAS, the Board set a public hearing thereon and caused notice of such public hearing to be given by publication pursuant to Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, the District Manager posted the Proposed Budget on the District’s website at least two days before the public hearing; and

WHEREAS, Section 190.008(2)(a), *Florida Statutes*, requires that, prior to October 1st of each year, the District Board, by passage of the Annual Appropriation Resolution, shall adopt a budget for the ensuing fiscal year and appropriate such sums of money as the Board deems necessary to defray all expenditures of the District during the ensuing fiscal year; and

WHEREAS, the District Manager has prepared a Proposed Budget, whereby the budget shall project the cash receipts and disbursements anticipated during a given time period, including reserves for contingencies for emergency or other unanticipated expenditures during the fiscal year.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BUDGET

- a. The Board has reviewed the Proposed Budget, a copy of which is on file with the office of the District Manager and at the District’s Local Records Office, and hereby approves certain amendments thereto, as shown in Section 2 below.

- b. The Proposed Budget, attached hereto as **Exhibit "A,"** as amended by the Board, is hereby adopted in accordance with the provisions of Section 190.008(2)(a), Florida Statutes ("**Adopted Budget**"), and incorporated herein by reference; provided, however, that the comparative figures contained in the Adopted Budget may be subsequently revised as deemed necessary by the District Manager to reflect actual revenues and expenditures.
- c. The Adopted Budget, as amended, shall be maintained in the office of the District Manager and at the District's Local Records Office and identified as "The Budget for the Naples Reserve Community Development District for the Fiscal Year Ending September 30, 2023".
- d. The Adopted Budget shall be posted by the District Manager on the District's official website within thirty (30) days after adoption, and shall remain on the website for at least 2 years.

SECTION 2. APPROPRIATIONS

There is hereby appropriated out of the revenues of the District, for Fiscal Year 2022/2023, the sum of \$1,579,213 to be raised by the levy of assessments and/or otherwise, which sum is deemed by the Board to be necessary to defray all expenditures of the District during said budget year, to be divided and appropriated in the following fashion:

TOTAL GENERAL FUND	\$ 459,853
TOTAL DEBT SERVICES FUND - SERIES 2014	\$ 539,300
TOTAL DEBT SERVICES FUND - SERIES 2018	<u>\$ 580,060</u>
TOTAL ALL FUNDS	\$1,579,213

SECTION 3. BUDGET AMENDMENTS

Pursuant to Section 189.016, *Florida Statutes*, the District at any time within Fiscal Year 2022/2023 or within 60 days following the end of Fiscal Year 2022/2023 may amend its Adopted Budget for that fiscal year as follows:

- a. The Board may authorize an increase or decrease in line item appropriations within a fund by motion recorded in the minutes if the total appropriations of the fund do not increase.
- b. The District Manager or Treasurer may authorize an increase or decrease in line item appropriations within a fund if the total appropriations of the fund do not increase and if the aggregate change in the original appropriation item does not exceed \$10,000 or 10% of the original appropriation.

- c. By resolution, the Board may increase any appropriation item and/or fund to reflect receipt of any additional unbudgeted monies and make the corresponding change to appropriations or the unappropriated balance.
- d. Any other budget amendments shall be adopted by resolution and consistent with Florida law.

The District Manager or Treasurer must establish administrative procedures to ensure that any budget amendments are in compliance with this Section 3 and Section 189.016 of the Florida Statutes, among other applicable laws. Among other procedures, the District Manager or Treasurer must ensure that any amendments to budgets under subparagraphs c. and d. above are posted on the District's website within 5 days after adoption and remain on the website for at least 2 years.

SECTION 4. EFFECTIVE DATE. This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED THIS 4TH DAY OF AUGUST, 2022.

ATTEST:

**NAPLES RESERVE COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: Fiscal Year 2022/2023 Budget

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
PROPOSED BUDGET
FISCAL YEAR 2023**

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
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**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2022				Proposed Budget FY 2023
	Adopted Budget FY 2022	Actual through 03/31/22	Projected through 9/30/2022	Total Actual & Projected	
REVENUES					
Assessment levy: on-roll	\$ 482,115				\$ 479,014
Allowable discount (4%)	(19,285)				(19,161)
Assessment levy - net	462,830	\$ 456,223	\$ 6,607	\$ 462,830	459,853
Interest and miscellaneous	-	639	-	639	-
Total revenues	462,830	456,862	6,607	463,469	459,853
EXPENDITURES					
Professional & admin					
Engineering	25,000	10,807	14,193	25,000	30,000
Engineering - stormwater reporting	-	-	7,500	7,500	-
Audit	7,200	7,200	-	7,200	7,200
Legal	15,000	10,923	4,077	15,000	20,000
Legal bond counsel	-	800	-	800	-
Management/accounting/recording	48,960	24,480	24,480	48,960	48,960
Debt service fund accounting	5,500	2,750	2,750	5,500	5,500
Postage	500	213	287	500	500
Insurance	6,808	6,405	-	6,405	7,206
Trustee	4,800	4,760	-	4,760	5,300
Trustee - second bond series	5,500	-	5,300	5,300	5,300
Arbitrage rebate calculation	1,500	-	1,500	1,500	1,500
Dissemination agent	2,000	1,000	1,000	2,000	2,000
Telephone	50	25	25	50	50
Printing & binding	350	175	175	350	350
Legal advertising	1,200	910	290	1,200	1,200
Annual district filing fee	175	175	-	175	175
Contingencies	2,500	-	2,500	2,500	500
Website					
Hosting	705	705	-	705	705
ADA compliance	210	-	210	210	210
Total professional & admin	127,958	71,328	64,287	135,615	136,656
Field operations					
Operations management	-	-	1,250	1,250	5,000
Drainage / catch basin maintenance	3,000	-	3,000	3,000	5,000
Other repairs & maintenance	75,000	-	75,000	75,000	100,000
Lake maintenance / water quality	75,000	11,256	63,744	75,000	51,436
Total field operations	153,000	11,256	142,994	154,250	161,436

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2022			Total Actual & Projected	Proposed Budget FY 2023
	Adopted Budget FY 2022	Actual through 03/31/22	Projected through 9/30/2022		
Other fees & charges					
Property appraiser	7,232	2,924	4,308	7,232	7,185
Tax collector	9,642	9,125	517	9,642	9,580
Total other fees & charges	<u>16,874</u>	<u>12,049</u>	<u>4,825</u>	<u>16,874</u>	<u>16,765</u>
Total expenditures	<u>297,832</u>	<u>94,633</u>	<u>212,106</u>	<u>306,739</u>	<u>314,857</u>
Excess (deficiency) of revenues over/(under) expenditures	164,998	362,229	(205,499)	156,730	144,996
Fund balance - beginning (unaudited)	71,135	47,426	409,655	47,426	204,156
Fund balance - ending (projected)					
Assigned					
3 months working capital	79,564	79,564	79,564	79,564	84,119
Lake bank remediation	150,000	150,000	150,000	150,000	260,000
Unassigned	6,569	180,091	124,592	124,592	5,033
Fund balance - ending (projected)	<u>\$ 236,133</u>	<u>\$ 409,655</u>	<u>\$ 204,156</u>	<u>\$ 204,156</u>	<u>\$ 349,152</u>

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
DEFINITIONS OF GENERAL FUND EXPENDITURES**

EXPENDITURES

Professional services

Management/accounting/recording	\$ 48,960
<p>Wrathell, Hunt and Associates, LLC, specializes in managing Community Development Districts in the State of Florida by combining the knowledge, skills and experience of a team of professionals to ensure compliance with all governmental requirements of the District, develop financing programs, administer the issuance of tax exempt bond financings, and operate and maintain the assets of the community. This fee is inclusive of district management and recording services.</p>	
Debt service fund accounting	5,500
Legal	20,000
<p>Coleman, Yovanovich & Koester, P.A. provides on-going general counsel and legal representation. As such, he is confronted with issues relating to public finance, public bidding, rulemaking, open meetings, public records, real property dedications, conveyances and contracts. In this capacity, he provides service as a "local government lawyer," realizing that this type of local government is very limited in its scope – providing infrastructure and services to developments.</p>	
Engineering	30,000
<p>Hole Montes, Inc., provides a broad array of engineering, consulting and construction services, which assist in the crafting of sustainable solutions for the long term interests of the community while recognizing the needs of government, the environment and maintenance of the District's facilities.</p>	
Audit	7,200
<p>If certain revenue or expenditure thresholds are exceeded then Florida Statutes, Chapter 218.39 requires the District to have an independent examination of its books, records and accounting procedures.</p>	
Arbitrage rebate calculation	1,500
<p>To ensure the District's compliance with all Tax Regulations, annual computations are necessary to calculate the arbitrage rebate liability.</p>	
Dissemination agent	2,000
<p>The District must annually disseminate financial information in order to comply with the requirements of Rule 15c2-12 under the Securities Exchange Act of 1934.</p>	
Trustee	5,300
<p>Annual Fee paid to U.S. Bank for the service provided as Trustee, Paying Agent and Registrar.</p>	
Trustee - second bond series	5,300
Telephone	50
<p>Telephone and fax machine.</p>	
Postage	500
<p>Mailing of agenda packages, overnight deliveries, correspondence, etc.</p>	
Printing & binding	350
<p>Copies, agenda package items, etc.</p>	

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
DEFINITIONS OF GENERAL FUND EXPENDITURES**

EXPENDITURES (continued)

Legal advertising	1,200
The District advertises for monthly meetings, special meetings, public hearings, bidding,	
Annual district filing fee	175
Annual fee paid to the Florida Department of Economic Opportunity.	
Insurance	7,206
The District carries public officials and general liability insurance. The limit of liability is set at \$1,000,000 (general aggregate \$2,000,000) and \$1,000,000 for public officials liability.	
Contingencies	500
Bank charges, automated AP routing and other miscellaneous expenses incurred during the year.	
Website	
Hosting	705
ADA compliance	210
Field operations	
Operations management	5,000
Drainage / catch basin maintenance	5,000
Other repairs & maintenance	100,000
Lake maintenance / water quality	51,436
Lake aerator maintenance agreement - \$1,000 annually, includes air diffuser system maintenance 4x a year. Lake Mgmt. Agreement - \$44,448 annually, includes visual inspections, aquatic weed control 2x per month, shoreline weed control, pond algae control, trash removal, service reporting and permitting. Lake services agreement - \$2,388 annually, includes visual inspections, lake 21A algae control, service reporting/permitting. Cardno - \$3,600 annually, includes compliance monitoring.	
Other fees & charges	
Property appraiser	
The property appraiser charges 1.5% of the assessments	7,185
Tax collector	
The tax collector charges 2% of the assessments collected.	9,580
Total expenditures	<u><u>\$ 314,857</u></u>

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
DEBT SERVICE FUND BUDGET - SERIES 2014
FISCAL YEAR 2023**

	Fiscal Year 2022				Proposed Budget FY 2023
	Adopted Budget FY 2022	Actual through 03/31/22	Projected through 9/30/2022	Total Actual & Projected Revenue & Expenditures	
REVENUES					
Assessment levy: on-roll	\$561,771				\$561,771
Allowable discount (4%)	(22,471)				(22,471)
Assessment levy - net	539,300	\$ 531,714	\$ 7,586	\$ 539,300	539,300
Interest	-	19	-	19	-
Total revenues	539,300	531,733	7,586	539,319	539,300
EXPENDITURES					
Debt service					
Principal	140,000	140,000	-	140,000	150,000
Principal prepayment	-	5,000	-	5,000	-
Interest	371,938	187,631	184,307	371,938	364,769
Total debt service	511,938	332,631	184,307	516,938	514,769
Other fees & charges					
Property appraiser	8,427	3,407	5,020	8,427	8,427
Tax collector	11,235	10,635	600	11,235	11,235
Total other fees & charges	19,662	14,042	5,620	19,662	19,662
Total expenditures	531,600	346,673	189,927	536,600	534,431
Excess/(deficiency) of revenues over/(under) expenditures	7,700	185,060	(182,341)	2,719	4,869
Fund balance:					
Beginning fund balance	851,036	921,441	1,106,501	921,441	924,160
Ending fund balance (projected)	\$ 858,736	\$ 1,106,501	\$ 924,160	\$ 924,160	929,029
Use of fund balance					
Debt service reserve account balance (required)					(514,063)
Interest expense - November 1, 2023					(180,603)
Principal expense - November 1, 2023					(155,000)
Projected fund balance surplus/(deficit) as of September 30, 2023					\$ 79,363

NAPLES RESERVE

Community Development District

Series 2014

\$7,680,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
11/01/2022	150,000.00	4.750%	184,165.63	334,165.63
05/01/2023	-		180,603.13	180,603.13
11/01/2023	155,000.00	4.750%	180,603.13	335,603.13
05/01/2024	-		176,921.88	176,921.88
11/01/2024	165,000.00	4.750%	176,921.88	341,921.88
05/01/2025	-		173,003.13	173,003.13
11/01/2025	170,000.00	4.750%	173,003.13	343,003.13
05/01/2026	-		168,965.63	168,965.63
11/01/2026	180,000.00	5.250%	168,965.63	348,965.63
05/01/2027	-		164,240.63	164,240.63
11/01/2027	190,000.00	5.250%	164,240.63	354,240.63
05/01/2028	-		159,253.13	159,253.13
11/01/2028	200,000.00	5.250%	159,253.13	359,253.13
05/01/2029	-		154,003.13	154,003.13
11/01/2029	210,000.00	5.250%	154,003.13	364,003.13
05/01/2030	-		148,490.63	148,490.63
11/01/2030	220,000.00	5.250%	148,490.63	368,490.63
05/01/2031	-		142,715.63	142,715.63
11/01/2031	230,000.00	5.250%	142,715.63	372,715.63
05/01/2032	-		136,678.13	136,678.13
11/01/2032	245,000.00	5.250%	136,678.13	381,678.13
05/01/2033	-		130,246.88	130,246.88
11/01/2033	255,000.00	5.250%	130,246.88	385,246.88
05/01/2034	-		123,553.13	123,553.13
11/01/2034	270,000.00	5.250%	123,553.13	393,553.13
05/01/2035	-		116,465.63	116,465.63
11/01/2035	285,000.00	5.250%	116,465.63	401,465.63
05/01/2036	-		108,984.38	108,984.38

NAPLES RESERVE

Community Development District

Series 2014

\$7,680,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
11/01/2036	300,000.00	5.625%	108,984.38	408,984.38
05/01/2037	-		100,546.88	100,546.88
11/01/2037	315,000.00	5.625%	100,546.88	415,546.88
05/01/2038	-		91,687.50	91,687.50
11/01/2038	335,000.00	5.625%	91,687.50	426,687.50
05/01/2039	-		82,265.63	82,265.63
11/01/2039	350,000.00	5.625%	82,265.63	432,265.63
05/01/2040	-		72,421.88	72,421.88
11/01/2040	370,000.00	5.625%	72,421.88	442,421.88
05/01/2041	-		62,015.63	62,015.63
11/01/2041	395,000.00	5.625%	62,015.63	457,015.63
05/01/2042	-		50,906.25	50,906.25
11/01/2042	415,000.00	5.625%	50,906.25	465,906.25
05/01/2043	-		39,234.38	39,234.38
11/01/2043	440,000.00	5.625%	39,234.38	479,234.38
05/01/2044	-		26,859.38	26,859.38
11/01/2044	465,000.00	5.625%	26,859.38	491,859.38
05/01/2045	-		13,781.25	13,781.25
11/01/2045	490,000.00	5.625%	13,781.25	503,781.25
Total	\$6,940,000.00		\$5,803,650.21	\$12,748,650.21

6,800,000.00

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
DEBT SERVICE FUND BUDGET - SERIES 2018
FISCAL YEAR 2023**

	Fiscal Year 2022			Total Actual & Projected Revenue & Expenditures	Proposed Budget FY 2023
	Adopted Budget FY 2022	Actual through 03/31/22	Projected through 9/30/2022		
REVENUES					
Assessment levy: on-roll	\$ 604,229				\$ 604,229
Allowable discount (4%)	(24,169)				(24,169)
Assessment levy - net	580,060	\$ 571,799	\$ 8,261	\$ 580,060	580,060
Interest	-	15	-	15	-
Total revenues	580,060	571,814	8,261	580,075	580,060
EXPENDITURES					
Debt service					
Principal	150,000	150,000	-	150,000	155,000
Principal prepayment	10,000	10,000	5,000	15,000	-
Interest	407,003	205,128	201,875	407,003	400,394
Total debt service	567,003	365,128	206,875	572,003	555,394
Other fees & charges					
Property appraiser	9,063	3,664	5,399	9,063	9,063
Tax collector	12,085	11,436	649	12,085	12,085
Total other fees & charges	21,148	15,100	6,048	21,148	21,148
Total expenditures	588,151	380,228	212,923	593,151	576,542
Excess/(deficiency) of revenues over/(under) expenditures	(8,091)	191,586	(204,662)	(13,076)	3,518
OTHER FINANCING SOURCES/(USES)					
Transfer in	-	148	-	-	-
Total other financing sources/(uses)	-	148	-	-	-
Net increase/(decrease) in fund balance	(8,091)	191,734	(204,662)	(13,076)	3,518
Fund balance:					
Beginning fund balance	687,603	683,452	875,186	683,452	670,376
Ending fund balance (projected)	\$ 679,512	\$ 875,186	\$ 670,524	\$ 670,376	673,894
Use of fund balance					
Debt service reserve account balance (required)					(280,178)
Interest expense - November 1, 2023					(198,647)
Principal expense - November 1, 2023					(160,000)
Projected fund balance surplus/(deficit) as of September 30, 2023					<u>\$ 35,069</u>

NAPLES RESERVE

Community Development District

Series 2018

\$8,550,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
11/01/2022	155,000.00	4.000%	201,746.88	356,746.88
05/01/2023	-		198,646.88	198,646.88
11/01/2023	160,000.00	4.000%	198,646.88	358,646.88
05/01/2024	-		195,446.88	195,446.88
11/01/2024	165,000.00	4.625%	195,446.88	360,446.88
05/01/2025	-		191,631.25	191,631.25
11/01/2025	175,000.00	4.625%	191,631.25	366,631.25
05/01/2026	-		187,584.38	187,584.38
11/01/2026	180,000.00	4.625%	187,584.38	367,584.38
05/01/2027	-		183,421.88	183,421.88
11/01/2027	190,000.00	4.625%	183,421.88	373,421.88
05/01/2028	-		179,028.13	179,028.13
11/01/2028	200,000.00	4.625%	179,028.13	379,028.13
05/01/2029	-		174,403.13	174,403.13
11/01/2029	210,000.00	4.625%	174,403.13	384,403.13
05/01/2030	-		169,546.88	169,546.88
11/01/2030	220,000.00	5.000%	169,546.88	389,546.88
05/01/2031	-		164,046.88	164,046.88
11/01/2031	230,000.00	5.000%	164,046.88	394,046.88
05/01/2032	-		158,296.88	158,296.88
11/01/2032	240,000.00	5.000%	158,296.88	398,296.88
05/01/2033	-		152,296.88	152,296.88
11/01/2033	250,000.00	5.000%	152,296.88	402,296.88
05/01/2034	-		146,046.88	146,046.88
11/01/2034	265,000.00	5.000%	146,046.88	411,046.88
05/01/2035	-		139,421.88	139,421.88
11/01/2035	280,000.00	5.000%	139,421.88	419,421.88
05/01/2036	-		132,421.88	132,421.88
11/01/2036	290,000.00	5.000%	132,421.88	422,421.88
05/01/2037	-		125,171.88	125,171.88
11/01/2037	305,000.00	5.000%	125,171.88	430,171.88
05/01/2038	-		117,546.88	117,546.88
11/01/2038	320,000.00	5.000%	117,546.88	437,546.88
05/01/2039	-		109,546.88	109,546.88

NAPLES RESERVE

Community Development District

Series 2018

\$8,550,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
11/01/2039	340,000.00	5.125%	109,546.88	449,546.88
05/01/2040	-		100,834.38	100,834.38
11/01/2040	355,000.00	5.125%	100,834.38	455,834.38
05/01/2041	-		91,737.50	91,737.50
11/01/2041	375,000.00	5.125%	91,737.50	466,737.50
05/01/2042	-		82,128.13	82,128.13
11/01/2042	390,000.00	5.125%	82,128.13	472,128.13
05/01/2043	-		72,134.38	72,134.38
11/01/2043	410,000.00	5.125%	72,134.38	482,134.38
05/01/2044	-		61,628.13	61,628.13
11/01/2044	435,000.00	5.125%	61,628.13	496,628.13
05/01/2045	-		50,481.25	50,481.25
11/01/2045	455,000.00	5.125%	50,481.25	505,481.25
05/01/2046	-		38,821.88	38,821.88
11/01/2046	480,000.00	5.125%	38,821.88	518,821.88
05/01/2047	-		26,521.88	26,521.88
11/01/2047	505,000.00	5.125%	26,521.88	531,521.88
05/01/2048	-		13,581.25	13,581.25
11/01/2048	530,000.00	5.125%	13,581.25	543,581.25
Total	\$8,260,000.00		\$7,133,500.23	\$15,408,500.23

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
PROJECTED ASSESSMENTS
GENERAL FUND AND DEBT SERVICE FUND
FISCAL YEAR 2023**

On-Roll Assessments

Number of Units	Unit Type	Subdivision Name	Projected Fiscal Year 2023			FY 22 Total Assessment
			GF	DSF	GF & DSF	
79	85' x 130'	Parrot Cay	\$440.27	\$ 1,458.33 *	\$1,898.60	\$ 1,901.45
82	78' x 130'	Sparrow Cay	440.27	1,250.00 *	1,690.27	1,693.12
116	64' x 130'	Savannah Lakes	440.27	1,145.83 *	1,586.10	1,588.95
169	53' x 130'	Egret Landing	440.27	1,041.67 *	1,481.94	1,484.79
51	40' x 130'	Mallard Point	440.27	833.33 *	1,273.60	1,276.45
178	34' x 130' Villa	Coral Harbor	440.27	708.33 **	1,148.60	1,151.45
183	76' x 130'	Canoe Landing/Crane Point/Bimini Isles	440.27	1,250.00 **	1,690.27	1,693.12
101	64' x 140'	Sutton Cay	440.27	1,145.83 **	1,586.10	1,588.95
129	53' x 130'	Half Moon Point	440.27	1,041.67 **	1,481.94	1,484.79
1,088						

* Units subject to Series 2014 Bonds

** Units subject to Series 2018 Bonds

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

6

RESOLUTION 2022-09

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT MAKING A DETERMINATION OF BENEFIT AND IMPOSING SPECIAL ASSESSMENTS FOR FISCAL YEAR 2022/2023; PROVIDING FOR THE COLLECTION AND ENFORCEMENT OF SPECIAL ASSESSMENTS, INCLUDING BUT NOT LIMITED TO PENALTIES AND INTEREST THEREON; CERTIFYING AN ASSESSMENT ROLL; PROVIDING FOR AMENDMENTS TO THE ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Naples Reserve Community Development District ("**District**") is a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes* for the purpose of providing, operating and maintaining infrastructure improvements, facilities and services to the lands within the District; and

WHEREAS, the District is located in Collier County, Florida ("**County**"); and

WHEREAS, the District has constructed or acquired various infrastructure improvements and provides certain services in accordance with the District's adopted capital improvement plan and Chapter 190, *Florida Statutes*; and

WHEREAS, the Board of Supervisors ("**Board**") of the District hereby determines to undertake various operations and maintenance and other activities described in the District's budget ("**Adopted Budget**") for the fiscal year beginning October 1, 2022 and ending September 30, 2023 ("**Fiscal Year 2022/2023**"), attached hereto as **Exhibit A**; and

WHEREAS, the District must obtain sufficient funds to provide for the operation and maintenance of the services and facilities provided by the District as described in the Adopted Budget; and

WHEREAS, the provision of such services, facilities, and operations is a benefit to lands within the District; and

WHEREAS, Chapter 190, *Florida Statutes*, provides that the District may impose special assessments on benefitted lands within the District; and

WHEREAS, it is in the best interests of the District to proceed with the imposition of the special assessments for operations and maintenance in the amount set forth in the Adopted Budget; and

WHEREAS, the District has previously levied an assessment for debt service, which the District desires to collect for Fiscal Year 2022/2023; and

WHEREAS, Chapter 197, *Florida Statutes*, provides a mechanism pursuant to which such special assessments may be placed on the tax roll and collected by the local tax collector (“**Uniform Method**”), and the District has previously authorized the use of the Uniform Method by, among other things, entering into agreements with the Property Appraiser and Tax Collector of the County for that purpose; and

WHEREAS, it is in the best interests of the District to adopt the assessment roll (“**Assessment Roll**”) attached to this Resolution as **Exhibit B**, and to certify the Assessment Roll to the County Tax Collector pursuant to the Uniform Method; and

WHEREAS, it is in the best interests of the District to permit the District Manager to amend the Assessment Roll, certified to the County Tax Collector by this Resolution, as the Property Appraiser updates the property roll for the County, for such time as authorized by Florida law.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BENEFIT & ALLOCATION FINDINGS. The provision of the services, facilities, and operations as described in **Exhibit A** confers a special and peculiar benefit to the lands within the District, which benefits exceeds or equals the cost of the assessments. The allocation of the assessments to the specially benefitted lands is shown in **Exhibits A and B**, and is hereby found to be fair and reasonable.

SECTION 2. ASSESSMENT IMPOSITION. Pursuant to Chapters 170, 190 and 197, *Florida Statutes*, and using the procedures authorized by Florida law for the levy and collection of special assessments, a special assessment for operation and maintenance is hereby imposed and levied on benefitted lands within the District, and in accordance with **Exhibits A and B**. The lien of the special assessments for operations and maintenance imposed and levied by this Resolution shall be effective upon passage of this Resolution.

SECTION 3. COLLECTION AND ENFORCEMENT; PENALTIES; INTEREST.

- A. Tax Roll Assessments.** The operation and maintenance special assessments and previously levied debt service special assessments shall be collected at the same time and in the same manner as County taxes in accordance with the Uniform Method, as set forth in **Exhibits A and B**.
- B. Future Collection Methods.** The decision to collect special assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect special assessments in future years, and the District reserves the right in its sole discretion to select collection methods in any given year, regardless of past practices.

SECTION 4. ASSESSMENT ROLL. The District's Assessment Roll, attached to this Resolution as **Exhibit B**, is hereby certified to the County Tax Collector and shall be collected by the County Tax Collector in the same manner and time as County taxes. The proceeds therefrom shall be paid to the Naples Reserve Community Development District.

SECTION 5. ASSESSMENT ROLL AMENDMENT. The District Manager shall keep apprised of all updates made to the County property roll by the Property Appraiser after the date of this Resolution, and shall amend the District's Assessment Roll in accordance with any such updates, for such time as authorized by Florida law, to the County property roll. After any amendment of the Assessment Roll, the District Manager shall file the updates in the District records.

SECTION 6. SEVERABILITY. The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

SECTION 7. EFFECTIVE DATE. This Resolution shall take effect upon the passage and adoption of this Resolution by the Board of Supervisors of the Naples Reserve Community Development District.

PASSED AND ADOPTED this 4th day of August, 2022.

ATTEST:

**NAPLES RESERVE COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: Budget
Exhibit B: Assessment Roll (Uniform Method)
Assessment Roll (Direct Collect)

Exhibit A: Budget

Exhibit B: Assessment Roll

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

7



Wrathell, Hunt and Associates, LLC

**ADDENDUM #2 TO AGREEMENT FOR MANAGEMENT SERVICES BETWEEN
NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT AND
WRATHELL, HUNT & ASSOCIATES, LLC**

This document is in reference to a contract agreement dated December 3, 2012 between the following parties that are named below.

May it be known that the undersigned parties, for good consideration, do hereby agree to make the following changes and/or additions outlined below. These additions, effective July 1, 2022, shall be made valid as if they are included in the original stated contract.

Field Operations Services

\$5,000 Annually (\$416.67 monthly)

No other terms or conditions of the abovementioned contract shall be negated or changed as a result of this here stated addendum.

PASSED AND ADOPTED this 4th day of August, 2022.

**NAPLES RESERVE COMMUNITY DEVELOPMENT
DISTRICT**

Print Name: _____

By: _____
Print Name _____, Chair

Print Name: _____

WRATHELL, HUNT & ASSOCIATES, LLC

Print Name: _____

By: _____
Craig A. Wrathell, President & Partner

Print Name: _____



Exhibit B –Scope of Services: Field Operations

- **Coordinate and provide contract administration for any services provided to the District by outside vendors:**
 - Develop service contracts and scope for the delivery of services to the District, with the assistance of the District’s Attorney, and bid as appropriate
 - Ensure that contract specifications are being met through periodic facilities review with service providers
 - Interface with residents, developer and builders and service providers to ensure that anticipated service levels are being provided
 - Coordinate calls for service from residents, developer and builders with service providers
 - Prepare contract amendments and change orders as necessary
 - Ensure proper contractor billing is received

- **Coordinate with the residents to determine the services and levels of service to be provided as part of the District's budget preparations:**
 - Identify new services
 - Identify expanded areas of existing services
 - Identify new levels of service
 - Provide budget recommendations based on findings

- **If required, provide day-to-day management of in-house operations by performing the following:**
 - Hire and train a highly qualified staff
 - Coordinate all personnel applications, benefits, and payroll and submit in an accurate and timely manner
 - Prepare and implement operating schedules
 - Prepare and implement operating policies
 - Implement internal purchasing policies
 - Prepare and bid services and commodities as necessary

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

8A

LOT 70



July 27th, 2022

Naples Reserve Community Development District
C/o Ms. Cindy Cerbone
Wrathell, Hunt, and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

Re: Property: Parrot Cay Lot 70, Naples Reserve
Street Address: 14257 Charthouse Circle, Naples, FL 34114
Owner: Patricia A. Ranallo
Letter of Why

Dear Ms. Cerbone,

As directed to provide with the submittal package, the outline of the events as to why we are at this meeting with one another occurred and started back in roughly the Fall of 2020 when my firm was contracted by Mr. Patrick and Mrs. Patricia Ranallo to construct them a New Single Family Residence and Pool enclosure on their newly purchase site within Parrot Cay community. As the first approved Custom Builder within Parrot Cay from iStar Development, my builder package included the community design guidelines and the setback information from RWA who is the Civil Engineering firm of record for the Plat of Parrot Cay. I was not aware a Plat existed that outlined the easements setbacks back in 2015 when I first got involved. I had never built in a PUD before. I was only given the Setback Information from Collier County when we initially called to find out for the first house that was designed and built, but was on a berm lot and not a Lake. The residence and pool on 14257 was designed within the guidelines of the HOA provided as attached in this package with the assumed same setbacks. See Site Plan w/ Title Block from KTS Group - Sheet A1.0.

As you can clearly see, the overall layout sits within all Property and Accessory Setback boundaries. At no time during the design, was it ever intended to mislead the placement of the final layouts of the projected project as my firm has designed and constructed several homes with Parrot Cay with these exact setbacks and never once been notified that we were not compliant when the submittal package for Permit was both submitted and approved to construct this and other homes within Parrot Cay. I even personally met with Johnathan Walsh (Head Building Official) and Chris Scott (Zoning - however no longer with the County from what I understand) from Collier County years ago to review these setbacks as I have covered living areas that are not AC Square Footage that extend on some models all the way to the 5' Accessory Setback limits and I clarified with them were my Pool limits also existed, however it was never discussed about the difference on the Interior Lake lots and their additional 5' of non-buildable space. All of my plans over the years have always been approved for permit and reviewed as part of the approval from Collier County Zoning, just as we did for this very project and required to do per county rules.

The same process was followed when we contracted with the Ranallo's and the same type of documents were submitted on 8.26.20 to Collier County and approved for permit on 10.06.20 (PRBD2020083530601) for the Residence. Within the initial submittal package, I am required to submit the same Site Plan - A1.0 dated 7.30.20 and as you can very clearly see, the county has stamped: **REVIEWED for Code Compliance**. It very clearly shows the Pool, its relationship to the structure of the house, and the very clearly denoted Setbacks for all items, related to Accessory and House requirements.



If we at any time, understood that we were in an Easement that was referred to as Private CDD Property, which is not the case, and in fact the easement shares the very last 10'-0" of my clients private property that they are taxed yearly on, I would have immediately dealt with a redesign with my client(s), however, this plan was submitted and approved by Collier County as you can see, which in its process as I stated above, requires a Zoning review, so that things like this don't become problems for everyone involved.

In addition to Collier County not only approving my structural permit for the house and reviewed the pool as part of the Site Plan, it is also approved my Pool contractors permit. As required by state code, I am required to sub contract the Pool Construction as I am not personally a Licensed Pool Contractor. My firm hired G2 Aquatics and they also have a formal submittal process that they must follow. Their full submittal package includes a site plan that is also attached and the same overlay of my site plan with more specific information related to the Pool itself. As you can see, there are very clearly stated dimensions from the property and setbacks lines to the very corners of the Pool location and its overall sizes. Please see attached: Site Plan [P1] on G2 Aquatic's title block. Not one thing is different from the Site Plan I presented in our submittal package to County from what G2 is submitting other than the additional dimensions and notes as required for their specific type of submittal. G2 was given approval of their permit to build on 5.29.21 (PRBD2021052201101) and began construction as allowed to by Collier County. They were stopped on roughly July 1st of 2021 when the Spot Survey from my Civil Engineering firm ABB, Inc. provided the survey for submittal as required per inspection process and denied.

Immediately following the rejections, the Pool project began its resolution seeking process and we discovered that we were building the pool in the Easement when the Plat was pulled by my engineer. This is when I immediately contacted ABB, Inc for help and they began their research on the issue. It was determined that the PUD in fact has an irrigation easement on the last 10'-0" of the Interior Lake properties that all of my owners have now purchased and that I was not personally aware of during design or contracting time with my clients. This was the first of several interior lake lots that my firm was contracted to build on and currently doing so. Had we known this existed, there would never have been an original submittal to Collier County to build within this space.

I initially hired Wayne Agnoli with ABB, Inc. to preform the needed surveying to figure out if there were any additional issues besides this one that had just surfaced. There were no Surveys that I was required to provide to the buyers of these lots, as I was not the owner of them, and all purchasing parties were buying from the Developer, therefore I had no information on the sites themselves outside of a CAD file I was given long ago from RWA for the Lots themselves, however this file has no notes telling me what each layer was used for, nor any finished PDF's showing the completed drawings. I also asked Wayne to preform spot elevations around the Parrot Cay areas that I would have Pool's within, not only on this site, but others that we had already contracted for and have similar layouts to this site which were already in submittal for permits and some already approved from County prior to finding out about this Easement. We concluded the surveying which was required in order to get the Engineering side of the company involved around the end of 2021.

Jim Carr, who is a Sr. Engineer with ABB, Inc. began working with my firm and reviewing the Plat, the SFWMD Drainage Plans, and my drone video of the lake bank with relationship to the structures and neighboring structures from other builders that were completed. With this information and the Surveying, we were able to create the attached Section (See S-1 - S-1) and Surveying that outlines the overlay of the sites specifically to the Plat and the Setbacks outlining the easement. As you can see with the Section, the control levels are far below the elevation of the proposed accessory setback line and both the 25 & 100 Year Storm Elevations top right at the rear of the property line. The water levels are still far below causing issue with the pool or deck, let alone ever being an issue for the houses themselves.



With this information completed, Jim began reaching out to Collier County to find out the correct way to proceed with our options on a how to remedy this issue. In the beginning, Jim was successful to have conversations with the County on different methods to resolve the easement encroachment. We were given the discussion of a possible Easement Use Agreement, and being done so Administratively. As we inched the ball down the court with each attempt to get an answer on how we resolve this, the County became non-responsive. I strongly believe that someone figured out at the County that they messed these permits up and didn't know how to give us the correct information without it looking like they missed this in review and issued both permits, thus their unwillingness to help.

Provided as proof, this is what we encountered when we tried to obtain the help from county in the Month of May and June to find out which direction we needed to go in.

From Jim Carr: June 9th, 2022

Scott,

Emails are attached in reference to the dates and summaries below. At this time I have not received a definitive answer nor been able to schedule a discussion or meeting with more than one person at a time individually.

May 6 I spoke on the phone with Brett Rosenblum, PE at Collier County. He suggested an Easement Use Agreement (EUA) or Easement Vacation (VAC), and to email other County staff with the project information.

May 9 I emailed Brett R., Richard Miller of Stormwater Div. (who then resigned), Cormac Giblin of Zoning, and Marc Berman of Surveyor with the project info and Plat.

May 12 I sent a follow up email to Brett to ask if any update. He responded that pools are not allowed as a Minor EUA but a Major EUA can be done only for existing structures, not proposed. (I believe Lot 70 should qualify).

May 12 I called Richard Orth at Stormwater. He suggested a deviation to encroach into the lake maintenance easement and/or an Insubstantial Change to the development plans. I believe he was referring to a EUA as the proper method. He is not in the permitting department, so is not familiar with the applications needed. I told him we might seek a EUA or VAC and he thought that would be appropriate to remove the easement encumbrance from the lot(s).

May 27 I emailed John Houldsworth at County who I've known, and has been there for 30 years, to ask if he can help, or provide any better options. John replied. He copied Marcus Berman via email, who suggested I contact Beth Johnssen or Mark Zordan of Stormwater.

May 31 Michael Sawyer replied. He forwarded my May 27 email to other departments. I did not get a response from any of them.

June 2 I called Beth Johnssen to discuss. She asked that I email her the information. She mentioned that future structures probably wouldn't qualify for a release or encroachment into easements. I emailed Beth the project information with request to discuss with staff for definitive direction.

June 6 I emailed Beth for follow up requesting a meeting with staff and have not received a response.

After I received this, I reached out to Mr. Ranallo and we decided to write to commissioner Rick LoCastro to find a way to get County to respond to us and help us resolve this issue. Please see attached Letter if needed? Needless to say, we met with the County and they kindly explained we needed to go through an



Application for Easement Use Agreement and so we began the process which includes a Letter of No Objection from the CDD and HOA.

As you are aware, this project has gone through a long period of what looks like from the outsiders, stagnate time to trying to resolve this issue. I personally invested myself into trying to resolve this as soon as it became an issue, but to be very clear, my firm is not a large builder with a lot of staff to help when problems occur. I personally hired ABB, Inc to become inclusive in the surveying of this site and 3 other properties that are also in the same easement by way of structure and pool connections. As you were aware, 2021 was a very chaotic time for builders with the boom of the real estate sales, not to mention the entire supply industry collapsing on itself and the vast delays that occurred and are still occurring weekly. As much as was humanly possible by myself and my hired Civil Engineering firm, we worked to review and research our potential options only to be ignored by the very County that caused this to become a problem for everyone. I personally have never had something like this come up before on any project and I was acting on this as soon as I could to try and find out why Collier County would issue not only, the house permit, but also the pool, when the same plans from the very start of the project were approved not only once, but twice showing the same exact thing. I think County should have discovered the Easement issue long before a single blade of grass was moved and while we can not go back and change history, we are all sitting with this issue that needs to have resolution and to have help from all to complete this and the other projects that each of my clients have a right to have on their properties.

The owners of this and the other sites have worked with my firm to design and stay within what I was given as the proper setbacks long ago. As I stated, not having prior experience with building on the interior lakes, I was not privy to the Easement or I would never have tried to submit for a permit. We would have simply redesigned the houses to stay out of this and I would not be writing this letter asking for help.

In closing, this outline of the history may generate questions and while I am unable to attend this coming meeting on August 4th in person, I am here by any means needed to help answer questions and come up with options on what would work for everyone, and even happy to visit with your office in Boca if it helps in anyway to make things more clear.

Please do not hesitate to contact me as needed.

Respectfully,

A handwritten signature in black ink that reads 'Scott L Kish II'.

Scott L Kish II
President



6.17.22

RE: 14257 Charthouse Ct. (Ranallo Residence)

Dear Commissioner LoCastro,

In conjunction with Mr. Ranallo, we collectively are writing for your assistance regarding an issue with Collier County Zoning Department and their lack of communication with us in trying to resolve a situation with a Setback and Easement Use Agreement/ Vacation resolution along with the ongoing issues this delay has now started to cause with the Association of Naples Reserve.

To help you understand the urgency of this matter, I have provided a short outline of the steps that we have taken as the Builder and the communication attempts with the County, only to receive their lack of willingness to assist us. I have spend thousands of dollars trying to illustrate to the County that we are well within the right to come to some kind of use agreement, not to mention the fact that the county has made numerous errors on their approvals of permits that they now say were not their fault, yet a Permit was issued for us to proceed with Construction.

- On or around August of 2020, we contracted with Mr. Ranallo to build him a Single Family Home and Pool package. (See attached Site Plan were it clearly shows the Setbacks and location of the Pool)
- Permits for the Single Family House were submitted for and released as approved around October 2020. We began contraction.
- In May of 2021, the Pool Contractor submitted for their Permit. Around June of 2021, the Permit was released as approved. (See attached approval)
 - It is here that it should be noted, that the Pool Contractor used the very same Site Plan as I did for the Single Family home, showing all setbacks for the house and pool and the Zoning Review released both the Single Family Home and the Pool permits as approved for construction.
 - It is also called out specifically on the "Permit" itself that the document shows under the Setbacks section of the document, the "Rear: 5' ACC" which refers to the the Rear Accessory Setback that is our limitation within the site to use.
- By the end of June 2021, we had completed the Shell of the Pool Shoot and I issued the Civil Engineer to provide the 10-Spot Survey for the Pool Shell as required as part of the inspection process. ABB, Inc. provided the Spot survey and the Pool Contractor submitted for approval to the County.
- Its was at this time, during the Spot Survey Review that the County failed the submittal and stated that we were on an inspection Hold due to the Pool not being within the Proper Setbacks. (See 10 Day Spot Survey as attached)

It was at this time that I reached out the Zoning Department to start a resolution and find out what the reasoning was behind this after being issued a permit to begin construction as outlined above. The next stages of the process is when we began to learn that there was a Lake Maintenance Easement and Irrigation Easement specifically that encroaches Mr. Ranallo's site by 10', restricting valuable land that he pays taxes on and is apparently unable to use, however the Zoning Codes for this PUD, are written as allowing the use up to 5' off the rear of the property line for Accessory use, which includes a Pool.

Immediately after the denied submittal of the Spot Survey, I began having my staff find out who we needed to speak with at County and if needed, I will provide record of emails if it is necessary as we move further into resolving this issue. As directed, my staff at the time found the zoning contact and we submitted our request for this review and explanation of the denied Spot Survey, so as to be able to continue with the Pool Construction.



We researched other houses next to this site constructed by other Builders and were not finding the same issues with their sites. I took the time to fly a drone around the entire lake showing the other houses and their relation to the Lake and especially to our site.

After review of this video with my Civil Engineer (Agnoli, Barber, Brundage, Inc - ABB, Inc) whom has been in this town for decades as one of the largest Civil Engineers around and has extensive relationships with the county, it was discovered that their was in fact a 20 foot - L.M.E./ I.E., and somehow zoning missed this in their review before issuing the original Permit.

I spoke with an Attorney in Ft. Myers that was referred to me, while awaiting the Zoning department to rule on my request to review this issue as the County Staff directed me to submit for. The County came back with a denied use of the Easement, but no specific reason. When I inquired as to why, they just said it was denied and there is nothing else we can provide to you. How can the County not provide the reason for the denial? How was I supposed to explain this to Mr. Ranallo? How were we supposed to resolve this?

Around October of 2021, I gathered my Civil Engineer and the Attorney to try and find out what was possible by written law regarding these setbacks and Easements that were originally designed into the PUD approval.

The Attorney proved to be worthless as they typically are, and my Civil Engineer started to investigate the PUD plans and we decided to spend the money to shoot our own elevations to confirm the sites were in fact developed to the PUD approved plans.

In the time it took to generate all of the research needed, time on site to recreate the spot points and elevations tags in order to confirm PUD plans, the HOA reached out to the County and started an investigation against the stop in work on Mr. Ranallo's site, regarding the Pool. We had completed without a final CO, due to the Pool problems now present, the Single Family house, however the HOA arrived at MR. Ranallo's door sometime around March of 2022 and started stating the I as the Builder had no active Permits, had abandoned the project, was not in compliance with the HOA rules, etc. etc..

As the first approved Custom Builder in Naples Reserve back in 2015, I take great pride in my reputation and performance. I provide my customers with superior residences and never abandon projects nor, fail to deliver what I contract for. This along with Mr. Ranallo's continued visits to the residence during this entire time, clearly shows that Mr. Ranallo and I were in constant communication regarding all activity on his project.

Following this visit with the HOA, I met with Mr. Ranallo and updated him on all that had transpired and all the documents we were producing to present to the County. When I hired ABB, Inc. I spoke in length with them about the approaches to take as we found the Attorney to be useless as I stated before, and it was agreed to try and use back channels and relationships with Staff to discuss the process and steps to take to get this approved without needing a formal hearing with the county. Some significant progress was made in the very beginning and then it just came to a grinding halt.

I have attached as a brief outline the communication timeline my Engineer provided to use for Mr. Ranallo to use with HOA, but also for you to understand that we have the full engineering review completed, that simply illustrates we are in no violation of the Accessory Setback, nor would cause a problem by entering into a full use agreement or vacation agreement of the Irrigation Easement in order to provide Pools, to Mr. Ranallo and 3 more of my clients that have this very same problem.



As a simple point to illustrate how ridiculous this is and for you to understand, we are being told that there is 10'-0" from the rear of Mr. Ranallo's property line, an Irrigation Easement created around the interior lake of the community. An "Irrigation" easement...in which a 1/2" water line must travel from corner of property to the next in order to water palm trees that the Developer installed on the rear corner of each property owner that the HOA maintains. Why does the community need 10'-0" of space to place or work on a 1/2" water line, god forbid something ever be needed. I would think the 5'-0" that PUD designed for not allowing encroachment into pass the Accessory Setback would be more than enough?

Within this same 10'-0" that Mr. Ranallo pays taxes on, he is offered the use of the 5'-0" Accessory Setback as designed throughout the community of Parrot Cay, that his property is located in with in Naples Reserve.

The Engineers have shown in their drawings that even at the maximum surge of water levels, we are not at risk of having the lake water encroach Mr. Ranallo's Pool or come close to damaging anything on the structure of the house. The County has a responsibility to review these types of issues at the time of the Initial Permit review for construction. Not after construction has commenced and hundreds of thousands of dollars are spent.

We are now faced with a County that will not assist or meet or respond to our inquires, nor provide any direction on how to resolve this matter. We have the HOA threatening Fines and Fee's to Mr. Ranallo for a stopage in work, for work I have an expired permit for and the county will not re-open it because of this violation of the easement, therefore how can I help my client finish his work, make sure the HOA is not his enemy, and complete a project that should have been completed at the end of 2021?

We would greatly appreciate a meeting with you at your earliest convenience so that we may finish the explanation of how much this is affecting not only Mr. Ranallo's reputation in the new community that he just moved into, but also the reputation that I have worked very hard to maintain with my company for all of my clients. We explained to the HOA and County, we are willing and able to assist on a daily basis and yet, get nothing from either by way of how to proceed to ensure it meets their requirements.

We both thank you for your time and consideration to meet and help resolve this immediate issue we are both facing.

Respectfully,

Scott L Kish II & Patrick Ranallo

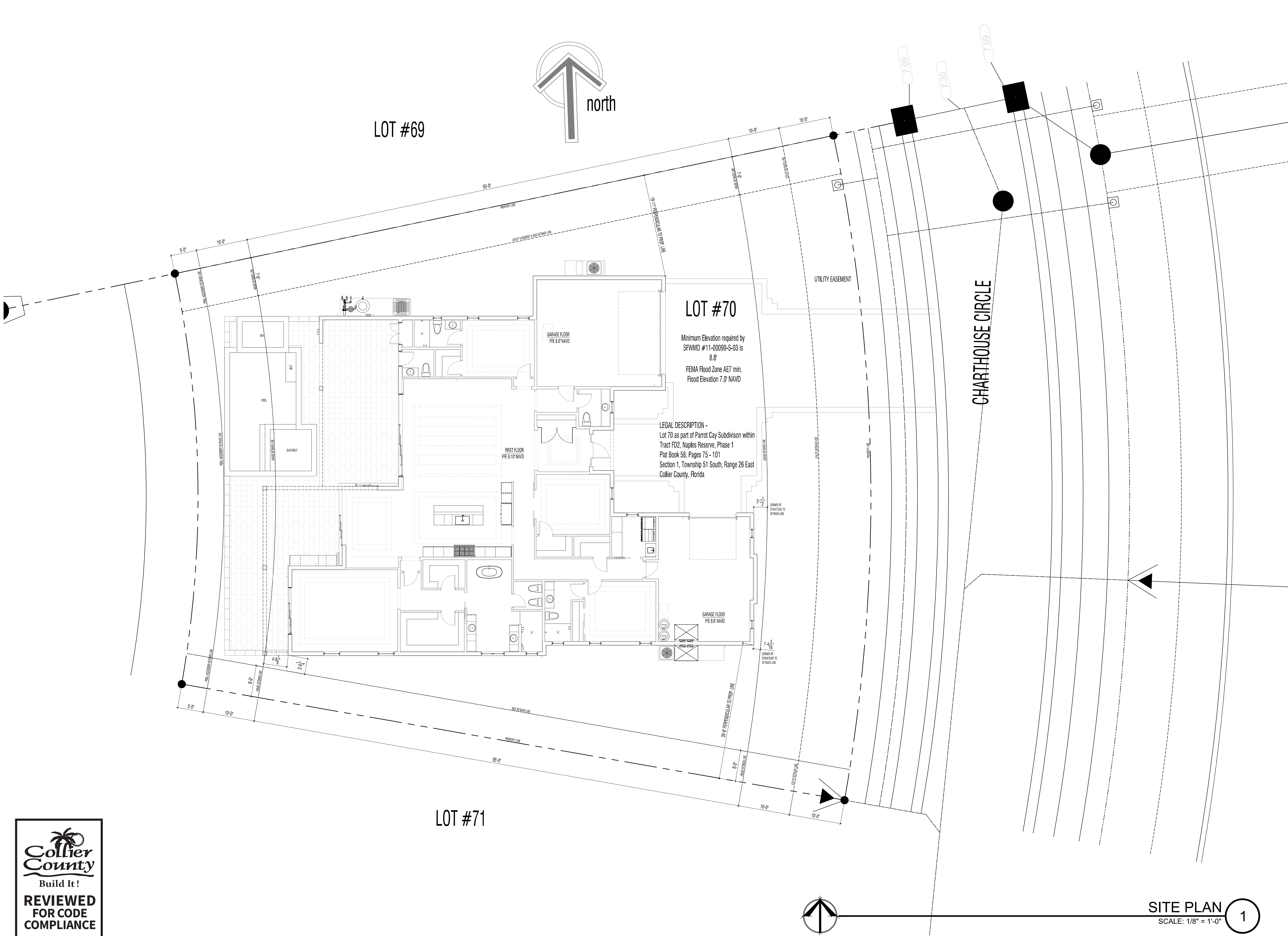
Lot 70
14257 Charthouse Cir
Naples, FL 34114

REVISIONS:

00.00.2020	

SEAL

Digitally signed by Michael Behrnt
Date: 2020.09.01 11:29:49 -04'00'



LOT #69



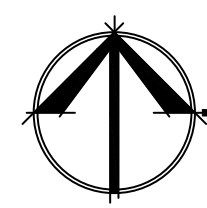
LOT #70

Minimum Elevation required by
SPWMD #11-00090-S-03 is
8.8'
FEMA Flood Zone AE7 min.
Flood Elevation 7.0' NAVD

LEGAL DESCRIPTION -
Lot 70 as part of Parrot Cay Subdivision within
Tract FD2, Naples Reserve, Phase 1
Plat Book 58, Pages 75 - 101
Section 1, Township 51 South, Range 26 East
Collier County, Florida

LOT #71

CHARTHOUSE CIRCLE



SITE PLAN
SCALE: 1/8" = 1'-0"

1



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SITE INFORMATION PROVIDED FROM
KTS GROUP, Revision Date: 09/10/2020
FILE: Lot 70_A1.0_Site Plan.dwg

LOT #69

north

LOT #70

Minimum Elevation required by
SFWMD #11-00090-S-03 is
8.8'

FEMA Flood Zone AE7 min.
Flood Elevation 7.0' NAVD

LEGAL DESCRIPTION -
Lot 70 as part of Parrot Cay Subdivision within
Tract FD2, Naples Reserve, Phase 1
Plat Book 58, Pages 75 - 101
Section 1, Township 51 South, Range 26 East
Collier County, Florida

CHARHOUSE CIRCLE

GENERAL NOTES:

1. CONTRACTOR TO USE STANDARD WORK PRACTICE IN INSTALLATIONS.
2. FOLLOW MANUFACTURER'S RECOMMENDATIONS WITH SECURING PRODUCTS.
3. HEATED POOL & SPAS SHALL BE EQUIPPED WITH PRODUCT PROVEN TO REDUCE HEAT LOSS.
4. CHEMICAL TERMITE PROTECTION 2020 FBC 7TH ED. SECTION 1816.1.6

g²
Aquatics

5780 Taylor Rd., Suite 1
Naples, FL 34109
P: 239.465.4218 | F: 239.598.0950

AMG STRUCTURAL
ENGINEERING, LLC
CERTIFICATE OF AUTHORIZATION NUMBER: 31558
2408 CAROLINE CT.
BONITA SPRINGS, FL 34135
(239) 405-3346

TO THE BEST OF MY KNOWLEDGE
AND BELIEF THESE PLANS AND
SPECIFICATIONS CONFORM TO
LOCAL BUILDING CODE
REQUIREMENTS.

SEAL AARON M. GILLMOR
FLORIDA P.E. # 67567
THE ENGINEER OF RECORD IS AARON M.
GILLMOR P.E., A FLORIDA REGISTERED
PROFESSIONAL ENGINEER (NO. 67567). THE
STRUCTURAL COMPONENTS OF THIS PLAN
HAVE BEEN DESIGNED IN COMPLIANCE
WITH THE 2020 FLORIDA BUILDING CODE
(7TH EDITION).
PROJECT:

Ranallo
Residence
14257
Charthouse Cir.
Naples, FL 34114

BUILDING CODE COMPLIANCE:

CODE: 2020 FBC 7TH ED BUILDING, SECTION 454.2
WIND SPEED: 170 MPH ULT
EXPOSURE: "C"
RISK CATEGORY: II STR
Quilt: 50 PSF

DESIGN BASIS:

Flood Zone AE7: ASCE 24, Section 9.6 Pools, to permit equipment for pools, spas and water features below the required elevation if elevated to the extent practical, anchored, and supplied by branch circuits with ground-fault circuit interrupter protection.

WHEN YARD FENCING IS PART OF THE BARRIER, YARD FENCING SHALL MEET FBC 454.2.17.1. THE TOP OF THE BARRIER SHALL BE AT LEAST 48" ABOVE GRADE. ACCESS GATES SHALL BE EQUIPPED WITH A SELF-CLOSING & SELF-LATCHING LOCKING DEVICE LOCATED 54" HIGH ON THE POOL SIDE OF THE GATE, THAT OPENS OUTWARD FROM THE POOL AREA.

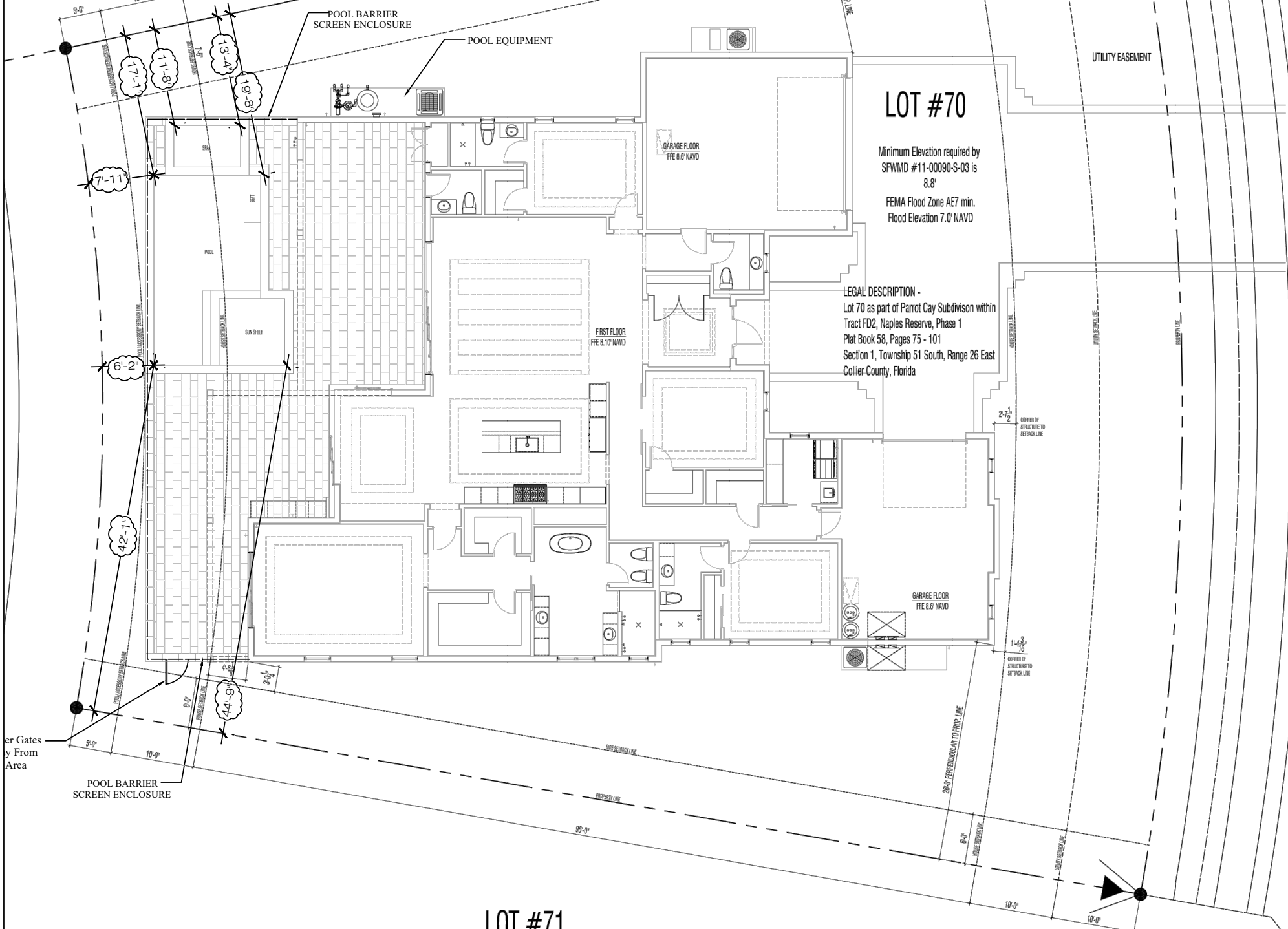
NO	REVISION/ISSUE	DATE
1	*	*
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4	*	*

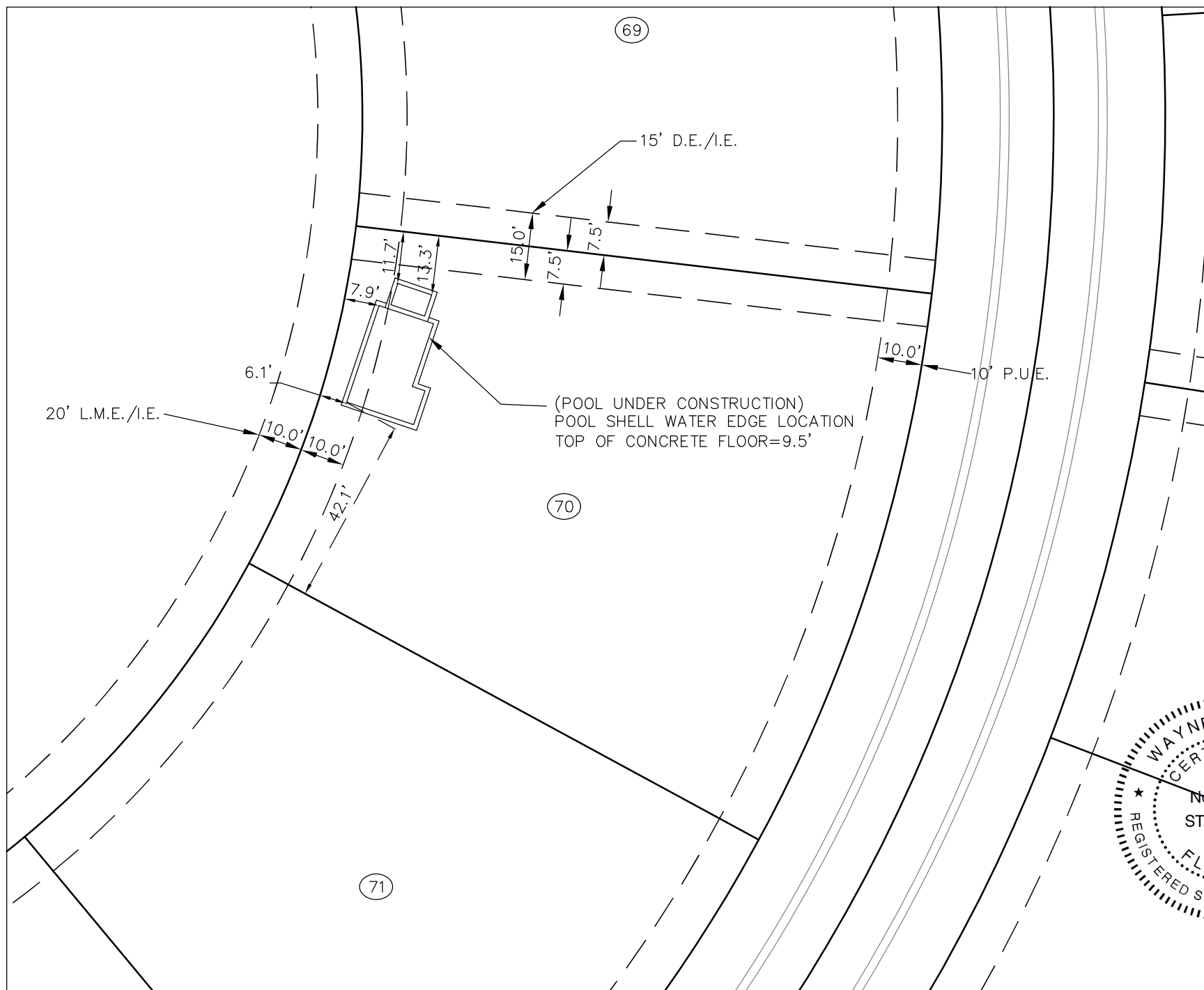
JOB NO: 1525-04-01
DATE: 05/08/2021
SCALE: As Shown

SHEET:
Site Plan P1

1 OVERALL SITE PLAN
SCALE: N.T.S.

LOT #71





PREPARED FOR:
 KTS HOMES, LLC, A FLORIDA LIMITED LIABILITY COMPANY
 PARROT CAY HOLDCO, LLC A DELAWARE LIMITED LIABILITY COMPANY
 FIRST AMERICAN TITLE INSURANCE COMPANY
 WOODS, WEIDENMILLER, MICHETTI, RUDNICK & GALBRAITH, PA
 CARLTON, FIELDS, JORDEN & BURT, PA

DATE OF FIELD SURVEY 28 JUN. 2021
 AGNOLI, BARBER & BRUNDAGE, INC.
 PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS AND MAPPERS

BY _____
 WAYNE D. AGNOLI, R.S.M. NO. 5335 DATE _____

THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

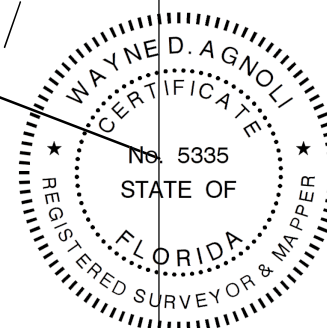
THIS BOUNDARY SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTIES WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES IS PROHIBITED BY CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE.

THIS BOUNDARY SURVEY IS CERTIFIED AS TO THE DATE OF FIELD SURVEY, NOT THE SIGNATURE DATE.

ABSTRACT NOT REVIEWED

GENERAL NOTES:

- DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- R.O.W. = RIGHT-OF-WAY. THE PLAT OF PARROT CAY,
- CURVE DIMENSIONS ARE AS FOLLOWS:
 Δ = DELTA, R = RADIUS, A = ARCH, CH = CHORD, AND CHB = CHORD BEARING.
- BEARINGS ARE BASED ON
 AS RECORDED IN PLAT BOOK 58, PAGES 75-78,
 PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP-COMMUNITY NUMBER 120067, PANEL NUMBER 0616, SUFFIX H DATED OF FIRM INDEX 16 MAY, 2012, THE SUBJECT PROPERTY LIES IN ZONE AE, WITH A BASE FLOOD ELEVATION OF 7' ELEVATIONS BASED ON NAVD 88. DISTANCES SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.



10 DAY SPOT SURVEY POOL SHELL LOCATION

for:	KTS HOMES, LLC.
title:	MAP OF BOUNDARY OF SURVEY OF LOT 70, PARROT CAY (PLAT BOOK 58, PAGES 75-78) COLLIER COUNTY, FLORIDA

design:	XXX
drawn:	VA
checked:	WDA
acad #:	11367-BS
view:	LIMITS
project #:	15-0072
sheet #:	1 of 1
file #:	11367



bk:	pg:	date:
1252	33	29 JUN. 2021
		scale:
		1"=30'
		cogo #:
		15-0072

Professional engineers, planners, & land surveyors Fax: (239)566-2209
 Collier County: Suite 200, 7400 Tamiami Trail, North; Naples, FL 34108 (239)597-3111
 Certificate of Authorization Nos. LB 3664 and EB 3664

NAPLES RESERVE RPUD ORDINANCE NO. 12-29
 SINGLE FAMILY DETACHED
 MINIMUM FRONT YARD SETBACK: 20 FEET
 MINIMUM SIDE YARD SETBACK: 6 FEET
 MINIMUM REAR YARD SETBACK: 15 FEET
 MINIMUM PRESERVE SETBACK: 25 FEET
 MINIMUM SETBACK BETWEEN STRUCTURES: 12 FEET
 ACCESSORY STRUCTURES
 FRONT YARD SETBACK: 20 FEET
 SIDE YARD SETBACK: 6 FEET
 REAR (ATTACHED) SETBACK: 5 FEET
 REAR (DETACHED) SETBACK: 20 FEET
 PRESERVE SETBACK: 10 FEET
 DISTANCE BETWEEN STRUCTURES: 12 FEET

LEGAL DESCRIPTION

ALL OF LOT 70, PARROT CAY, AS RECORDED IN PLAT BOOK 58, PAGES 75-78, PUBLIC RECORDS, COLLIER COUNTY, FLORIDA.
 CONTAINING 13,587 SQUARE FEET OF LAND MORE OR LESS. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 ELEVATIONS SHOWN ARE NAVD 88 DATUM

July 27, 2022

Naples Reserve Community Development District
c/o Ms. Cindy Cerbone
Wrathell, Hunt and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

**Re: Property: Parrot Cay Lot 70, Naples Reserve
Street Address: 14257 Charthouse Circle, Naples, FL 34114
Owner: Patricia A. Ranallo
Easement Use Agreement**

Dear Ms. Cerbone:

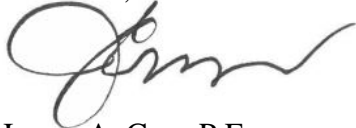
Patricia A. Ranallo is seeking to enter into an Easement Use Agreement with the County regarding a portion of the platted 10' wide lake maintenance easement on Parrot Cay Lot 70 in Naples Reserve. The pool and patio deck are being constructed to the required 5' rear yard accessory setback. However, the improvements are partially (less than 5') within the lake maintenance easement as dedicated to Collier County and the CDD (see attached exhibit).

We have drafted the attached Letter of No Objection and are providing to you in Word format so that it may be placed on the CDD's letterhead. We respectfully request it be executed by the CDD and returned to me by email so that Ms. Ranallo may enter into the Lake Management Easement Use Agreement with the County.

If you have any questions, please do not hesitate to contact me or my permitting coordinator, Denise Rakich.

Sincerely,

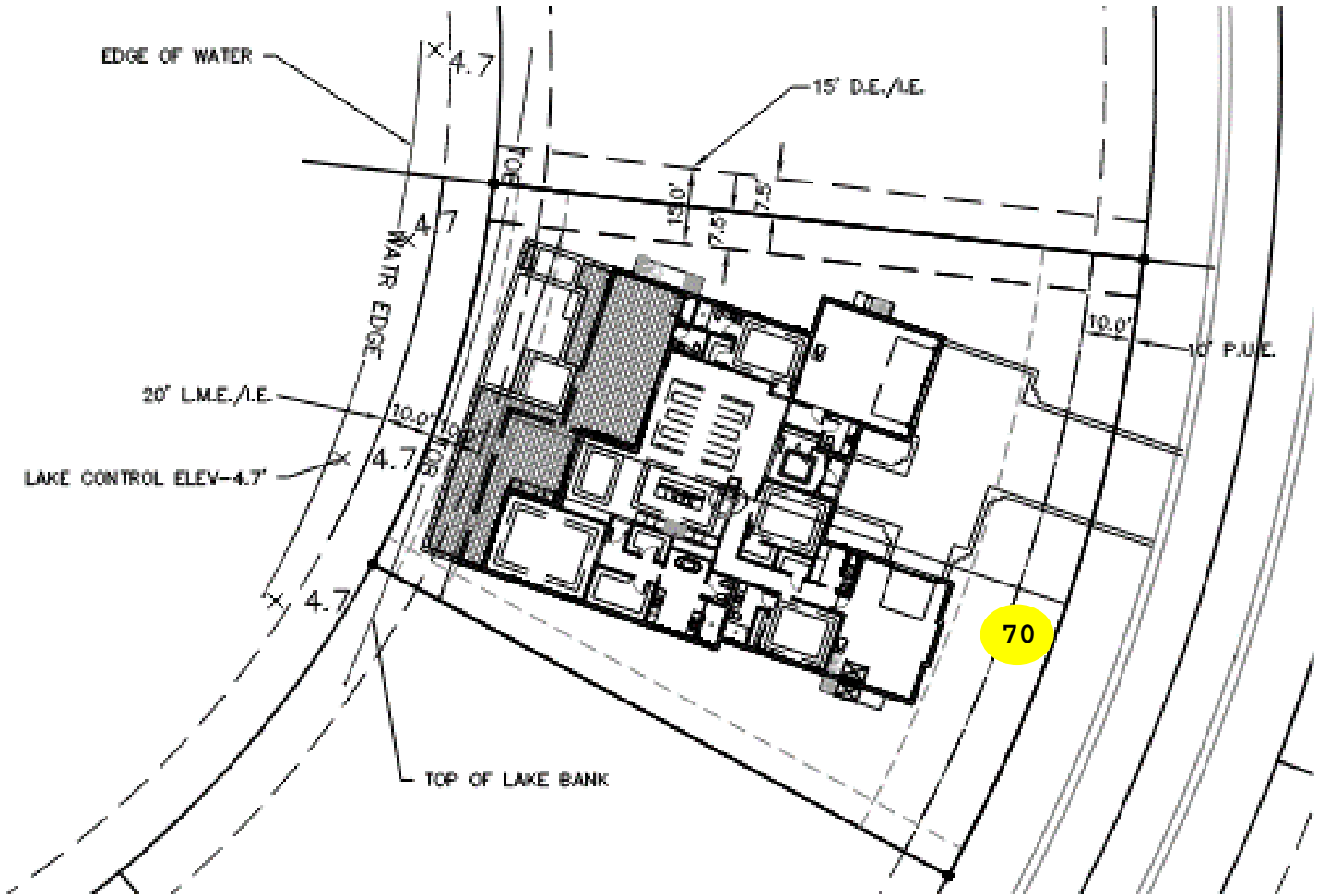
AGNOLI, BARBER & BRUNDAGE, INC.



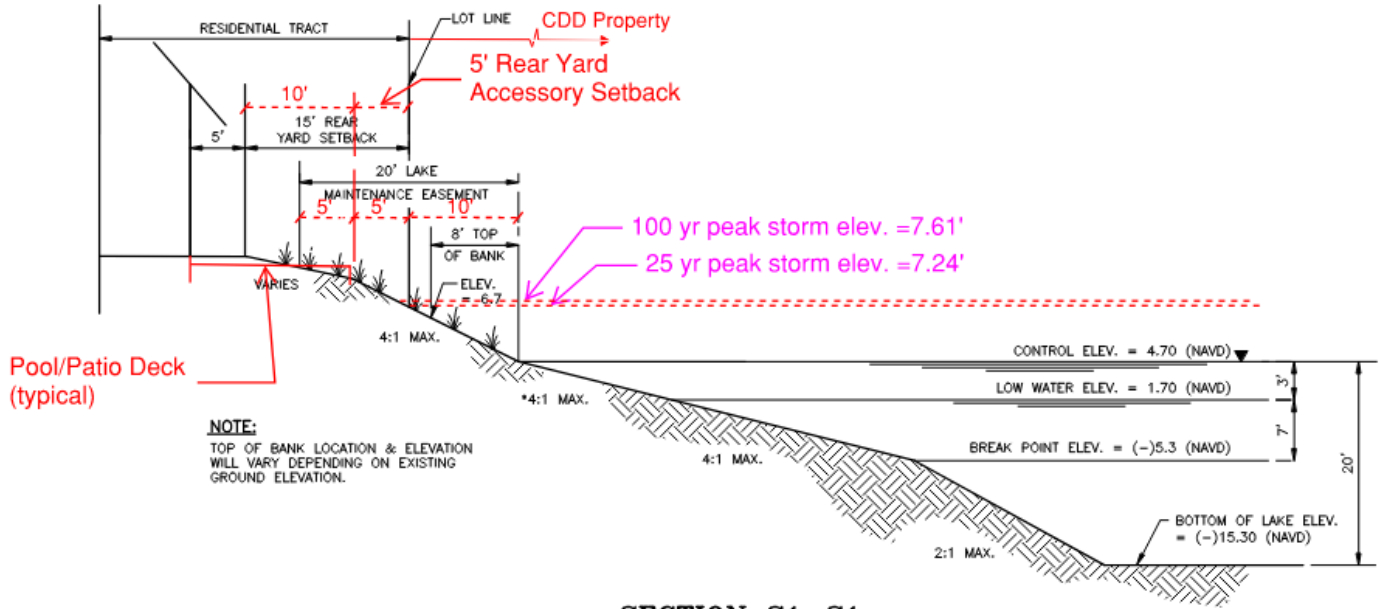
James A. Carr, P.E.
Senior Vice President
Project Engineer

JAC/drr
Attachments

PARROT CAY LOT 70, NAPLES RESERVE
14257 Charthouse Circle, Naples, FL 34114
Owner: Patricia A. Ranallo



TYPICAL LAKE SECTION



SECTION S1-S1
RESIDENTIAL TRACT ADJACENT
TO WATER MANAGEMENT LAKE
N.T.S.

[Naples Reserve Community Development District Letterhead]

July ____, 2022

Ms. Patricia A. Ranallo
170 St. Francis Court
Bloomington, IL 60108

**Re: Parrot Cay Lot 70, Naples Reserve
14257 Charthouse Circle, Naples, FL 34114
Owner: Patricia A. Ranallo
Easement Use Agreement**

Dear Ms. Ranallo:

The Naples Reserve Community Development District has no objection to your entering into an Easement Use Agreement with the County regarding the 5-foot-wide portion of the Lake Maintenance Easement upon which will be encroached by the pool/patio area of your property.

Sincerely,

NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT

By: _____

Title: _____

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

8A1

Naples Reserve Community Development District
OFFICE OF THE DISTRICT MANAGER
2300 Glades Road, Suite 410W•Boca Raton, Florida 33431
Phone: (561) 571-0010•Toll-free: (877) 276-0889•Fax: (561) 571-0013

June 29, 2022

Patricia A. Ranallo
170 St. Francis Ct.
Bloomington, IL 60108

Re: Unauthorized Pool Encroachment into District Easements
Property: 14257 Charthouse Circle, Naples, FL 34114 (the “Property”)

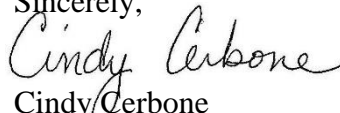
Ms. Ranallo:

Naples Reserve Community Development District (the “District”) is an independent special district that encompasses the Naples Reserve community. Pursuant to the dedications on the plat of Parrot Cay, as recorded in Plat Book 58, Pages 75 through 78, inclusive, of the Public Records of Collier County, Florida, the north side of the Property is subject to and encumbered by a 7.5’ drainage easement and 7.5’ irrigation easement, and the west side of the Property is subject to and encumbered by a 10’ lake maintenance easement and 10’ irrigation easement (collectively, the “District Easements”). The District is the owner and holder of rights in the District Easements.

We understand that the pool and related improvements built on the Property were not constructed as originally planned and are currently not in compliance with applicable County permits. Please be advised that the District did not approve, and has not approved, an encroachment of said pool and related improvements into the District Easements. Accordingly, the pool and related improvements need to be modified to eliminate any encroachments into the District Easements.

We appreciate your prompt cooperation and attention to this matter. Should you have any questions, please contact us at (561) 571-0010.

Sincerely,


Cindy Cerbone
District Manager

cc: Collier County Growth Management Division – Permitting

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

8A11

Friday, July 22, 2022

To: Naples Reserve Board of Directors
Re: Ranallo Residence
14257 Charthouse Circle, Naples, FL, 34114
Topic: Pool Issue / Violation Notice

Dear Board of Directors,

I am writing in hope of finding your partnership in addressing a matter that is beyond my control. My wife and I started building our home with KTS Builders in Naples Reserve in 2020 with a closing date scheduled for summer of 2021. We couldn't wait to be a part of this beautiful community. However, it is with sincere disappointment that we have been unable to close on our house because the builder has been telling me for a year that he is waiting on a variance approval from the County due to his contractors building our pool over what was originally planned. I have been trying to partner with you, the County and the builder to find a resolution, but no matter what I do, I'm still left with an incomplete home and now, a fine for something that is beyond my control and that I've been working with you to address. Here is a summary to date.

- Since April 2021, my builder, KTS, has been telling me he was working with the County on getting a variance.
- Lisa Wild contacted me in April 2022 to discuss the situation with my pool because it looks abandoned. I explained that I was informed by my builder, KTS, in April 2021 that there was an easement encroachment and that he has been telling me since that he's been working on it with the County.
- Ms. Wild offered the Boards help to move the situation along and I accepted graciously - anything that would help us get this house complete.
- At the end of April 2022, the HOA contacted the County stating there was a safety issue with the pool, and the County issued us a violation notice; thank you for helping get the County involved to get KTS moving on this matter.
- Within days, we had a temporary fence installed to protect anyone from hurting themselves. The County inspected the fence and terminated the violation.
- In May, I was keeping Ms. Wild and Barbara Ford informed of everything that was happening with KTS and what KTS was informing me about the County. Unfortunately, I was not able to be in Florida because my wife has some medical issues, and we were at our main home in Chicago going to specialists for an upcoming major back surgery she is having.
- In the beginning of June, I was informed about a Fining Meeting on June 15, which I participated in, via telephone. At that meeting, the Board gave me 21 days to make progress otherwise they would look to impose a fine.

- On June 21, I contacted the Commissioner, Rick LoCastro, for help with my situation, asking to meet when I was slated to be in town the following week. The commissioner contacted me informing me that the department head would contact me for a meeting on June 29 or 30, which I informed Ms. Wild about on June 23.
- Also on June 23, I received an email from Tom Hernandez with a Nuisance Violation notice. I replied to his email stating I thought he had addressed the incorrect property because the meeting on June 15 gave us 21 days to make progress and this was only eight days after. I never received a response to my email.
- On June 30, 2022 KTS, their engineer and pool contractor, the Commissioner and I met at the Building Department. The County told us we need to complete the house and reinstate the three permits that were expired (the building permit, low voltage permit, mine, and the Pool permit). At that meeting we were informed that we need to apply for a variance and go through the proper channels to get this complete.
- Immediately following the meeting, I reinstated the low voltage permit within days and KTS reinstated the building permit. I am uncertain if the pool permit is reinstated at this time—if it is not reinstated, perhaps they are waiting for the variance to be addressed.
- I immediately informed both Ms. Wild and Ms. Ford of the outcome of the meeting, and they were both happy and wished me luck.
- On July 14, I was informed of a Fining Meeting, one in which I was not originally invited to, but when I contacted Ms. Wild, she had the board invite me through Zoom or phone.
- Of course, right before the meeting, my Internet went down so I tried the phone number and it would not connect me. I emailed both Ms. Ward and Mr. Hernandez from my phone to inform them of my issue. The next day Ms. Wild contacted me stating she wasn't at the meeting, Mr. Hernandez did not respond until July 20. His email informed me the Board unanimously voted to uphold the fine.

I received an email on July 21 that stated the Board Levied a \$5,000.00 fine on my property for being a Nuisance. I am going to appeal this for a couple of reasons. First, the HOA's definition of a nuisance is as follows:

Article V Paragraph 1.p.iv - Nuisance. No portion of the Property shall be used, in whole or in part, for the storage of any property or things that will cause it to appear to be in an unclean or untidy condition or that will be obnoxious to the eye, nor shall any substance, thing, or material be kept upon any portion of the Property that will emit foul or obnoxious odors or that will cause any noise or other condition that will or might disturb the peace, quite, safety, comfort, or serenity of the occupants of surrounding Units. No noxious, illegal or offensive activity shall be carried on upon any portion of the Property.

There is nothing on my property doing anything stated above.

Second, I was looking to the HOA for help which they offered to get the situation with the pool rectified, not harass me as they are doing. Since Ms. Wild contacted me in April and I got involved to move the issue with the County, I made a lot of progress. **Days after the meeting with the County, Naples Reserve received documents to sign to get the variance submitted, to date, we have not received the documents signed. At this juncture Naples Reserve is holding up the process and thus, I should not be fined.**

I believe the way you are handling this is going to cause not only me, but the HOA money that doesn't need to be spent on attorneys. I received a call from the County about a complaint the HOA made about my pool nesting mosquitos and the grass is not being cut around the pool. Why would you not email me about this issue to take care of it? It seems like the HOA wants to cause issues instead of have its residents resolve them and live peacefully in our community. I told the County Violation officer that I was there last week and drained the pool without anyone telling me.

I have done everything in my power to accommodate the HOA and appreciate the help in getting the ball moving on our pool, but I can't get this done overnight. **I respectfully ask the HOA to please do the following:**

1. Reverse the violation fine because I made the progress you requested at the June 15 meeting
2. Sign the document that was sent to you for the variance so we can submit to the County and CDD for the variance

My wife is having back her back surgery on Monday, July 25 in Chicago and I will be caring for her until she is stable in the next two weeks; not allowing me to focus on this matter. I hope you can respond swiftly so this matter can be resolved. I'd like to peacefully resolve this situation together, as I hope to be a resident of Naples Reserve for many years to come. Please work with me on this.

Yours Truly,

Patrick J. Ranallo

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

8B

LOT 63



July 27th, 2022

Naples Reserve Community Development District
C/o Ms. Cindy Cerbone
Wrathell, Hunt, and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

Re: Property: Parrot Cay Lot 63, Naples Reserve
Street Address: 14301 Charthouse Circle, Naples, FL 34114
Owner: Joseph & MaryAnn Miano
Letter of Why

Dear Ms. Cerbone,

To spare everyone time on repeating myself, if you would, please review the outline provided within the response regarding: Lot 70 to illustrate the timeline only on and how it was discovered that the easement existed.

With regard to this specific site, there has been no construction started beyond the House itself, however the same process applies from Lot 70 with regard to the Counties review of the Plans submitted that again illustrate the location of the proposed pool as it relates to the Accessory Set Back location on the Site Plan. Please see the attached Site Plan on KTS Group's title block and dated 4.01.21.

Again, we are seeking the use of the Irrigation Easement as it is part of the Accessory Setback on my Clients property. We are not encroaching the Lake Maintenance Easement at all. We have no plans to try and pass the Accessory Setback. The County changed the way they approve the Field Set of plans and no longer stamp the plans themselves, but they do include with the Permit a letter of approval for the plans that sites in the Permit Folder. I have attached this for you to review.

If you have any questions, please do not hesitate to contact me and I will be happy to either speak over the phone or come to your office to help answer any questions.

Respectfully,

A handwritten signature in black ink that reads 'Scott L Kish II'.

Scott L Kish II
President

PROJECT START DATE:

10.05.2020

DRAWN BY: SLK

PERMIT SET:

4.01.2021

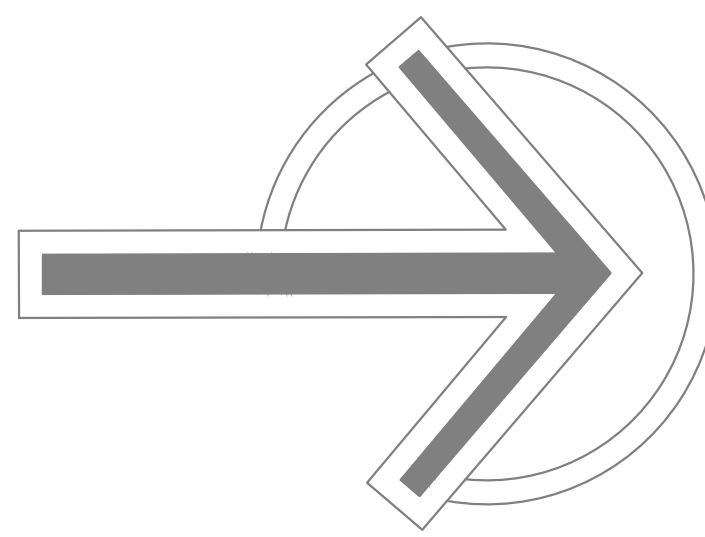
LOT 63
14301 Charthouse Cir
Naples, FL 34114

REVISIONS:

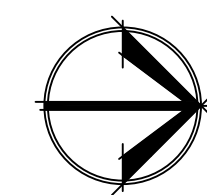
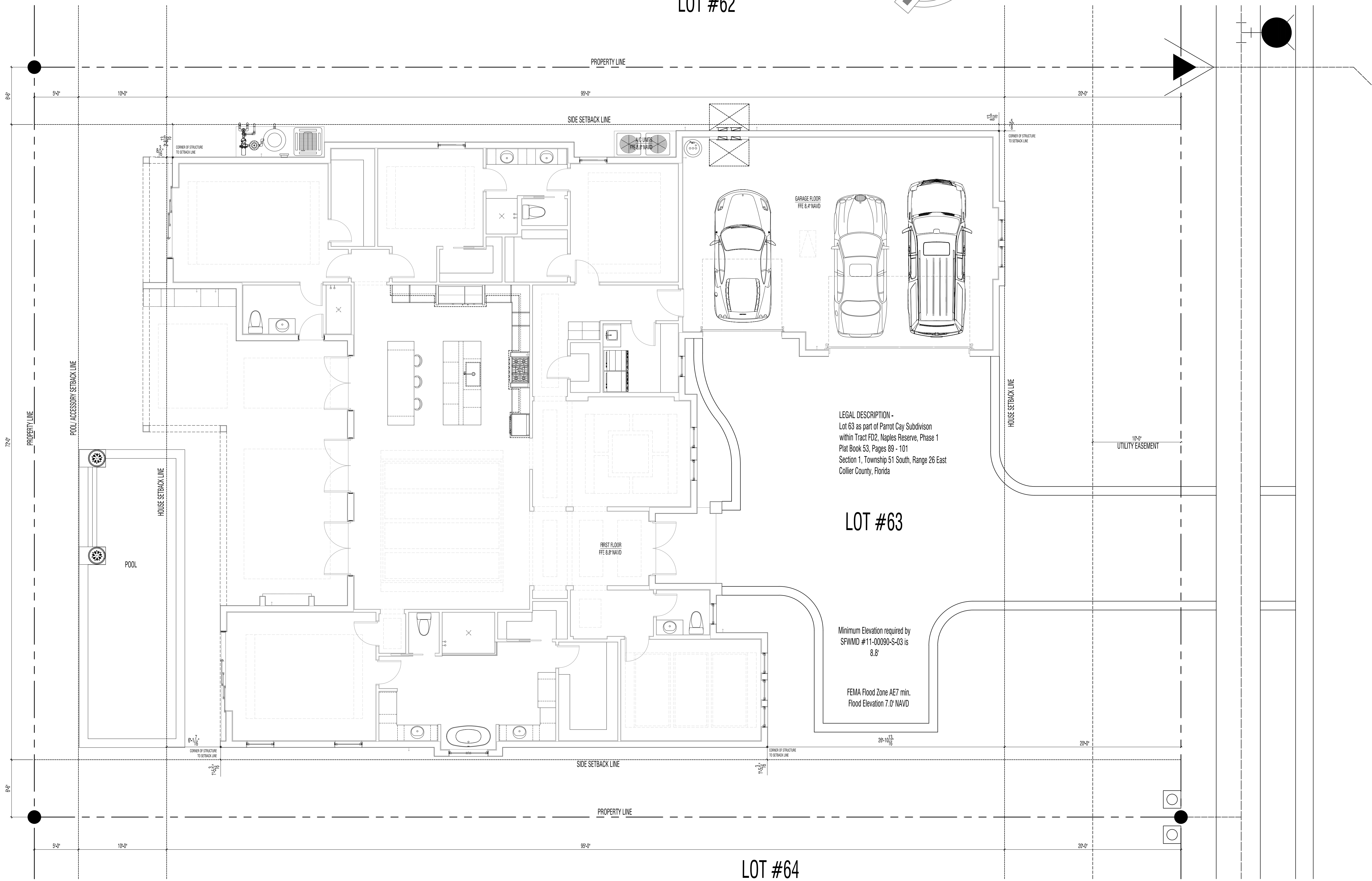
SEAL

SITE PLAN

A 1.0



LOT #62



SITE PLAN 1
SCALE: 3/16" = 1'-0"

Approval of Construction Documents Building Plan Review & Inspection

2800 N. Horseshoe Dr, Naples, FL 34104 239-252-2400



Residential Permits

These electronic documents have been reviewed for Code Compliance by the Building Plan Review & Inspection Division of the Collier County Growth Management Department. The documents are available for download from the [GMD Public Portal](#). These specific documents, listed as "Approved Plans (PR)" on the Portal, must be available for Inspectors to review on the job site in either electronic or paper form as the approved version in accordance with the Florida Building Code Section 107.3.1. Other supporting documents may be required on site as needed to meet code requirements.

Permit Number: PRBD2021041664001

Job Site Address: 14301 Charthouse CIR, Vacant Land, Naples

Permit Description: Single family residential new house, pool, lanai enclosure & buried propane tank.. 4BED 4W/C.

14301 Charthouse CIR, Naples

Permit Issuance Date: 06/18/2021

Document List:

Portal File Type	Portal File Name
1. Approved Plans (PR)	Product Approval Index Sheet (20210428_FLORIDA PRODUCT APPROVAL MIAMI-DADE NOA -INDEX SHEET.pdf)
2. Approved Plans (PR)	Construction Plans (Miano_CD_040121 - Prepared (Received).pdf)
3. Approved Plans (PR)	Construction Plans (PC Lot 63 Struct signed.pdf)

July 27, 2022

Naples Reserve Community Development District
c/o Ms. Cindy Cerbone
Wrathell, Hunt and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

**Re: Property: Parrot Cay Lot 63, Naples Reserve
Street Address: 14301 Charthouse Circle, Naples, FL 34114
Owner: Joseph & MaryAnn Miano
Easement Use Agreement**

Dear Ms. Cerbone:

Joseph and MaryAnn Miano are seeking to enter into an Easement Use Agreement with the County regarding a portion of the platted 10' wide lake maintenance easement on Parrot Cay Lot 63 in Naples Reserve. The pool and patio deck will be constructed to the required 5' rear yard accessory setback. However, the improvements are partially (less than 5') within the lake maintenance easement as dedicated to Collier County and the CDD (see attached exhibit).

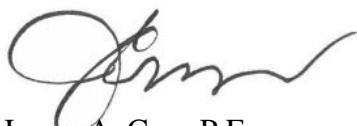
We have drafted the attached Letter of No Objection and are providing to you in Word format so that it may be placed on the CDD's letterhead. We respectfully request it be executed by the CDD and returned to me by email so that Mr. and Mrs. Miano may enter into the Lake Management Easement Use Agreement with the County.

If you have any questions, please do not hesitate to contact me or my permitting coordinator, Denise Rakich.

Sincerely,

Sincerely,

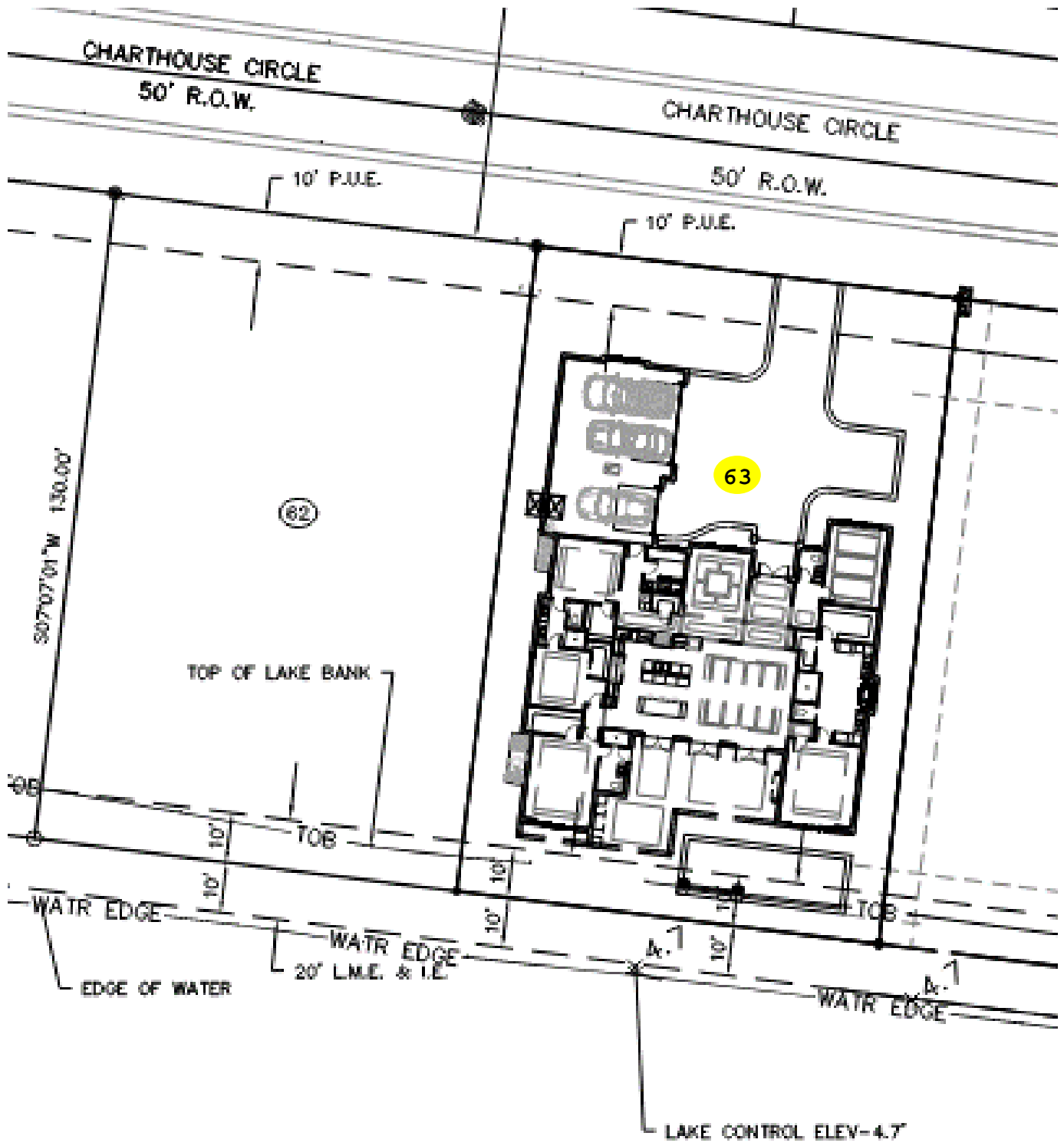
AGNOLI, BARBER & BRUNDAGE, INC.



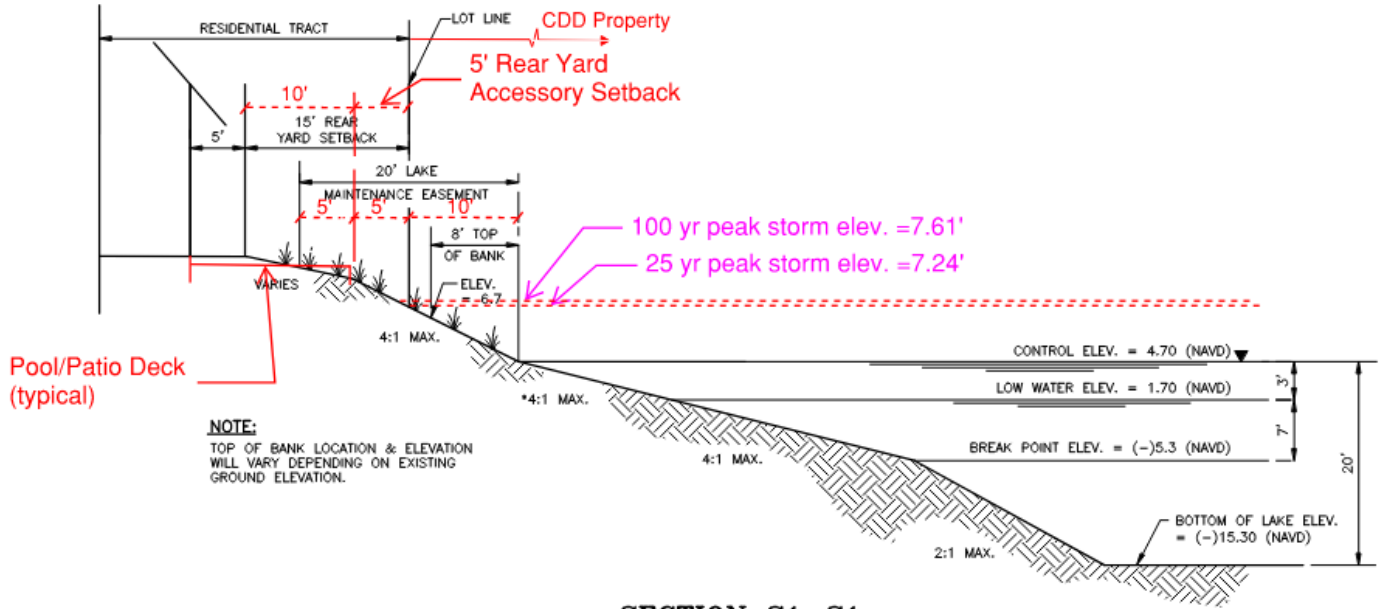
James A. Carr, P.E.
Senior Vice President
Project Engineer

JAC/drr
Attachments

PARROT CAY LOT 63, NAPLES RESERVE
Address: 14301 Charthouse Circle, Naples, FL 34114
Owner: Joseph and MaryAnn Miano



TYPICAL LAKE SECTION



SECTION S1-S1
RESIDENTIAL TRACT ADJACENT
TO WATER MANAGEMENT LAKE
N.T.S.

[Naples Reserve Community Development District Letterhead]

July ____, 2022

Mr. and Mrs. Joseph Miano
3 Camelia Court
Holmdel, NJ 07733

**Re: Parrot Cay Lot 63, Naples Reserve
14301 Charthouse Circle, Naples, FL 34114
Owner: Joseph and MaryAnn Miano
Easement Use Agreement**

Dear Mr. and Mrs. Miano:

The Naples Reserve Community Development District has no objection to your entering into an Easement Use Agreement with the County regarding the 5-foot-wide portion of the Lake Maintenance Easement upon which will be encroached by the pool/patio area of your property.

Sincerely,

NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT

By: _____

Title: _____

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

8C

LOT 65



July 27th, 2022

Naples Reserve Community Development District
C/o Ms. Cindy Cerbone
Wrathell, Hunt, and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

Re: Property: Parrot Cay Lot 65, Naples Reserve
Street Address: 14293 Charthouse Circle, Naples, FL 34114
Owner: Brian D. And Felita Y. Carr
Letter of Why

Dear Ms. Cerbone,

To spare everyone time on repeating myself, if you would, please review the outline provided within the response regarding: Lot 70 to illustrate the timeline only on and how it was discovered that the easement existed.

With regard to this specific site, there has been no construction started beyond the House itself, however the same process applies from Lot 70 with regard to the Counties review of the Plans submitted that again illustrate the location of the proposed pool as it relates to the Accessory Set Back location on the Site Plan. Please see the attached Site Plan on KTS Group's title block and dated 4.15.21.

The County has also approved this site as they did on Lot 70, by approving the house to extend all the way into the Easement with the Lanai Roof. As you can review on the Site Plan, the Covered Living area as long as it is not Under Air, can be built all the way to the Accessory setback line, per that meeting with Building and Zoning as outlined in my letter for Lot 70 that I had, therefore, regardless of the pool itself being within the easement, the County approved the Structure itself and it passed through Zoning review and was approved. The plans outline the pool, that aligns itself with the end of the covered Lanai.

Again, we are seeking the use of the Irrigation Easement as it is part of the Accessory Setback on my Clients property. We are not encroaching the Lake Maintenance Easement at all. We have no plans to try and pass the Accessory Setback. The County changed the way they approve the Field Set of plans and no longer stamp the plans themselves, but they do include with the Permit a letter of approval for the plans that sites in the Permit Folder. I have attached this for you to review.

If you have any questions, please do not hesitate to contact me and I will be happy to either speak over the phone or come to your office to help answer any questions.

Respectfully,

A handwritten signature in black ink that reads 'Scott L Kish II'.

Scott L Kish II
President

PROJECT START DATE:

01.22.2021

DRAWN BY: SLK

PERMIT SET:

04.15.2021

Lot 65
14293 Charthouse Cir
Naples, FL 34114

REVISIONS:

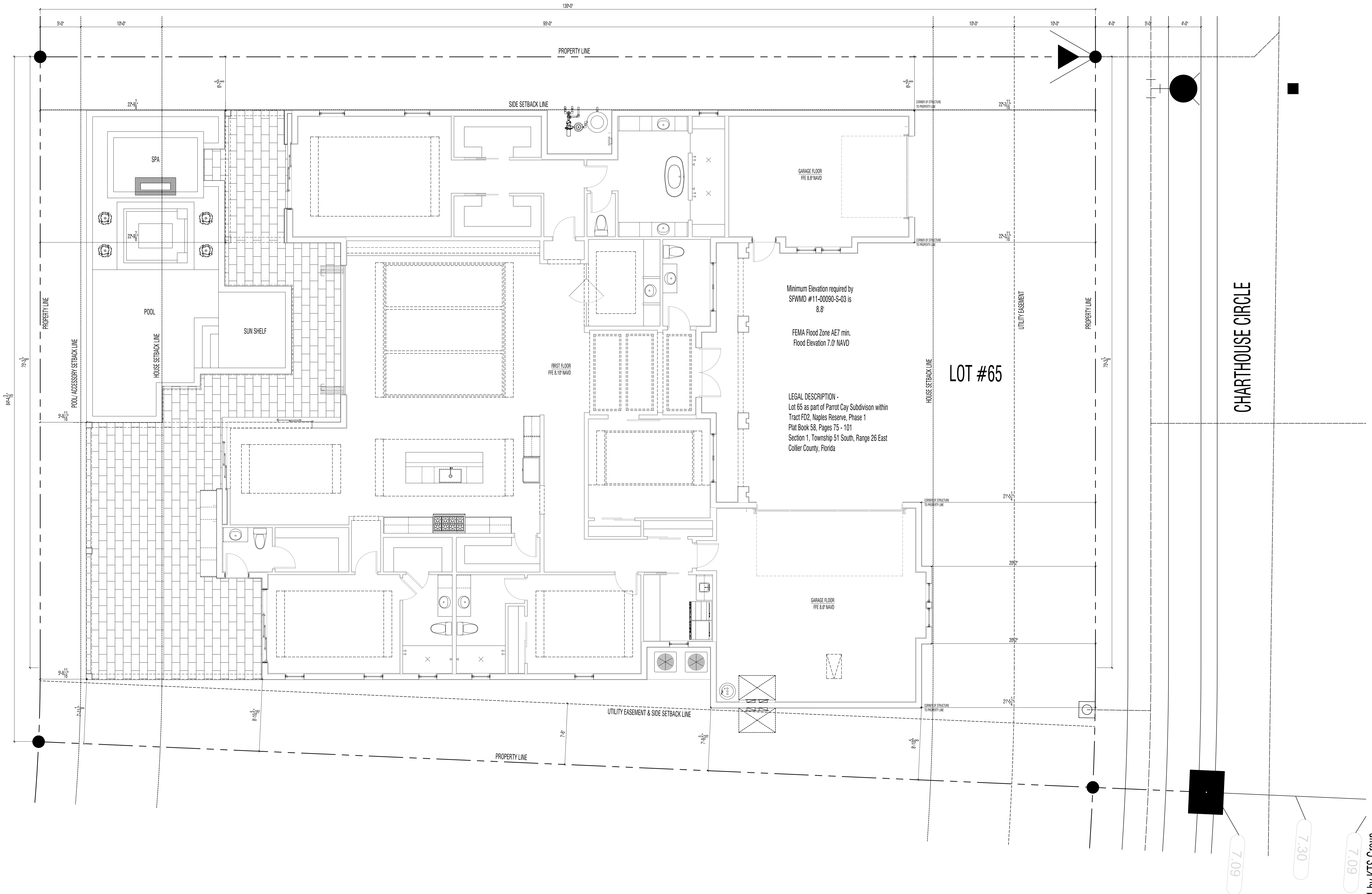
1 09.10.2021

1 04.14.2022

SEAL

SITE PLAN

A 1.0



Minimum Elevation required by
SFWMD #11-00090-S-03 is
8.8'

FEMA Flood Zone AE7 min.
Flood Elevation 7.0' NAVD

LEGAL DESCRIPTION -
Lot 65 as part of Parrot Cay Subdivision within
Tract FD2, Naples Reserve, Phase 1
Plat Book 58, Pages 75 - 101
Section 1, Township 51 South, Range 26 East
Collier County, Florida

LOT #65

SITE PLAN 1
SCALE: 3/16" = 1'-0"

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Approval of Construction Documents Building Plan Review & Inspection

2800 N. Horseshoe Dr, Naples, FL 34104 239-252-2400



Residential Permits

These electronic documents have been reviewed for Code Compliance by the Building Plan Review & Inspection Division of the Collier County Growth Management Department. The documents are available for download from the [GMD Public Portal](#). These specific documents, listed as "Approved Plans (PR)" on the Portal, must be available for Inspectors to review on the job site in either electronic or paper form as the approved version in accordance with the Florida Building Code Section 107.3.1. Other supporting documents may be required on site as needed to meet code requirements.

Permit Number: PRBD2021083996301

Job Site Address: 14293 Charthouse CIR, Vacant Land, Naples

Permit Description: Single family residential new house, pool w/ spa, lanai enclosure & buried propane tank.
4BED 5W/C
14293 Charthouse CIR, Vacant Land, Naples

Permit Issuance Date: 09/21/2021

Document List:

Portal File Type	Portal File Name
1. Approved Plans (PR)	Product Approval Index Sheet (14293 Charthouse Circle_Index Sheet.pdf)
2. Approved Plans (PR)	Construction Plans (Lot 65_Base_CD_permit_041521 - Prepared.pdf)
3. Approved Plans (PR)	Construction Plans (NR Lot 65 signed - Prepared.pdf)

July 27, 2022

Naples Reserve Community Development District
c/o Ms. Cindy Cerbone
Wrathell, Hunt and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

**Re: Property: Parrot Cay Lot 65, Naples Reserve
Street Address: 14293 Charthouse Circle, Naples, FL 34114
Owner: Brian D. and Felita Y. Carr
Easement Use Agreement**

Dear Ms. Cerbone:

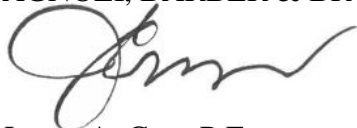
Brian and Felita Carr are seeking to enter into an Easement Use Agreement with the County regarding a portion of the platted 10' wide lake maintenance easement on Parrot Cay Lot 65 in Naples Reserve. The pool and patio deck will be constructed to the required 5' rear yard accessory setback. However, the improvements are partially (less than 5') within the lake maintenance easement as dedicated to Collier County and the CDD (see attached exhibit).

We have drafted the attached Letter of No Objection and are providing to you in Word format so that it may be placed on the CDD's letterhead. We respectfully request it be executed by the CDD and returned to me by email so that Mr. and Mrs. Carr may enter into the Lake Management Easement Use Agreement with the County.

If you have any questions, please do not hesitate to contact me or my permitting coordinator, Denise Rakich.

Sincerely,

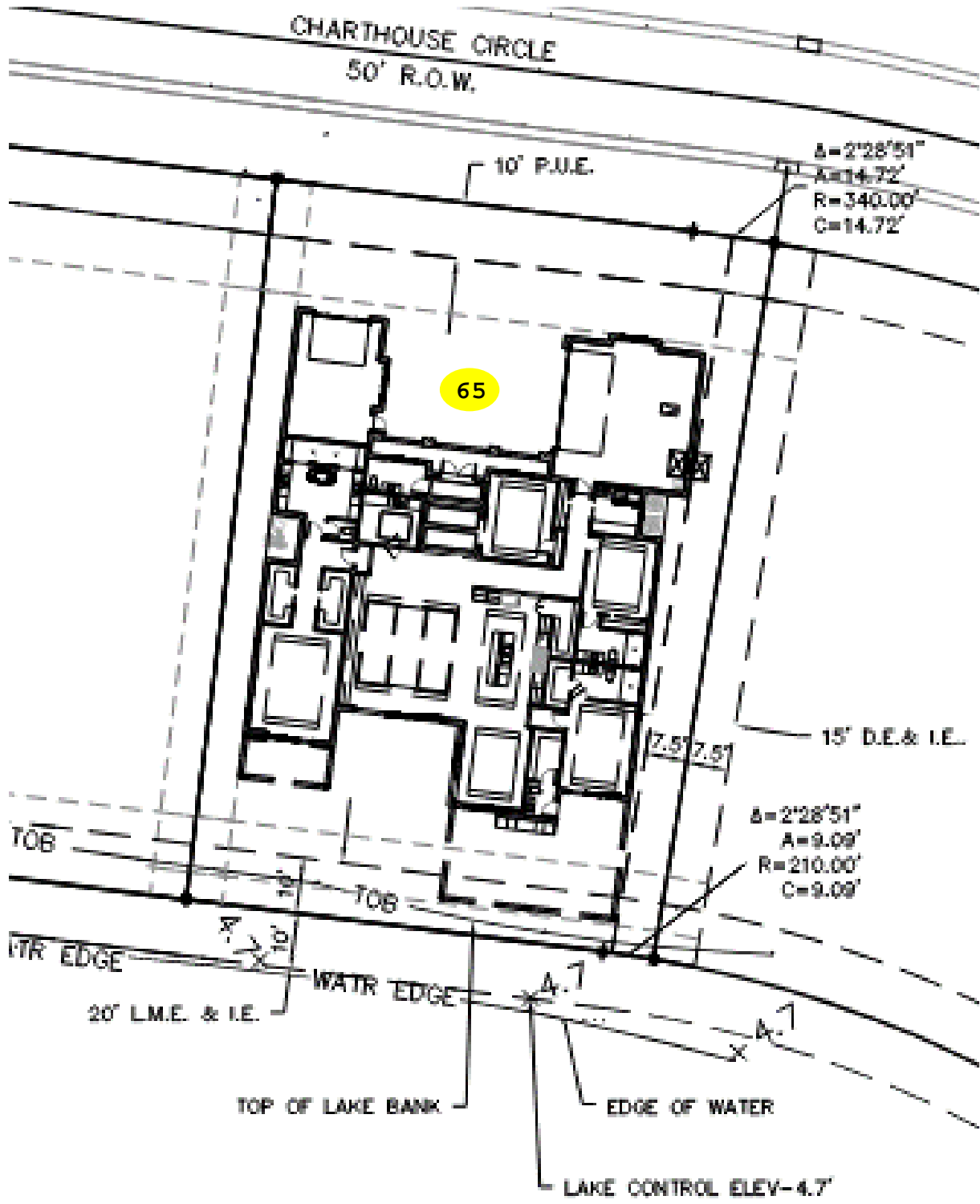
AGNOLI, BARBER & BRUNDAGE, INC.



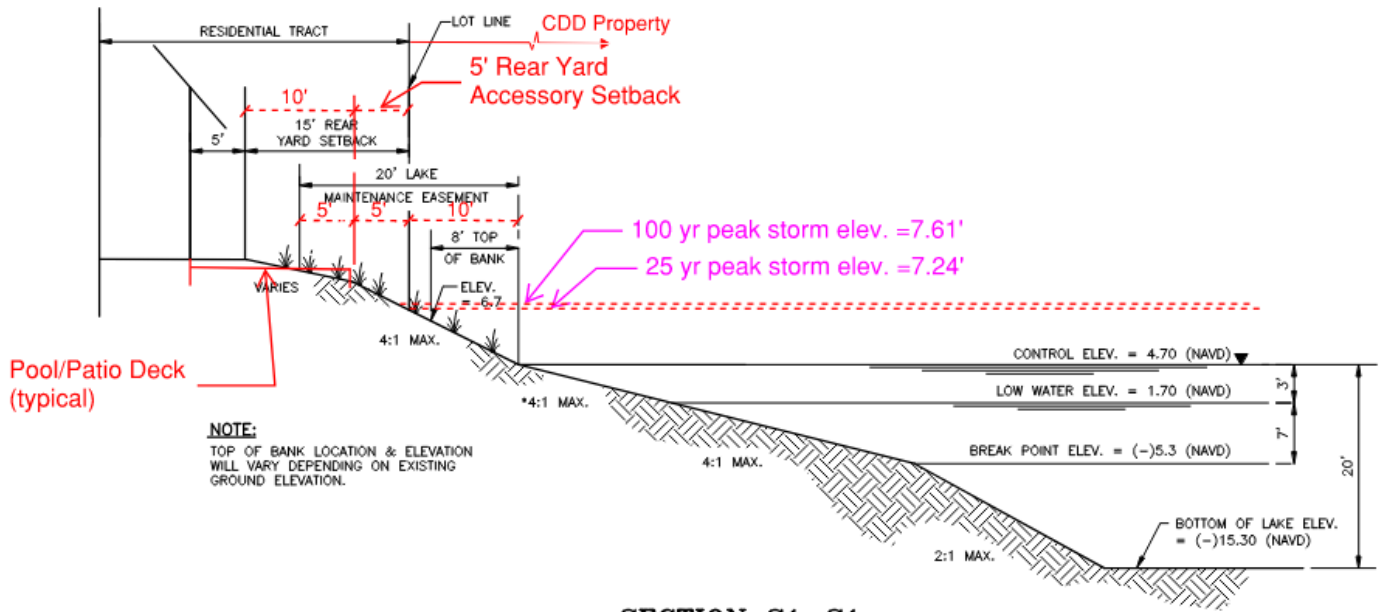
James A. Carr, P.E.
Senior Vice President
Project Engineer

JAC/drr
Attachments

PARROT CAY LOT 65, NAPLES RESERVE
14293 Charthouse Circle, Naples, FL 34114
Owner: Brian D. and Felita Y. Carr



TYPICAL LAKE SECTION



SECTION S1-S1
RESIDENTIAL TRACT ADJACENT
TO WATER MANAGEMENT LAKE
 N.T.S.

[Naples Reserve Community Development District Letterhead]

July ____, 2022

Mr. and Mrs. Brian D. Carr
135 Seaport Boulevard, #2108
Boston, MA 02210

**Re: Parrot Cay Lot 65, Naples Reserve
14293 Charthouse Circle, Naples, FL 34114
Owner: Brian D. and Felita Y. Carr
Easement Use Agreement**

Dear Mr. and Mrs. Carr:

The Naples Reserve Community Development District has no objection to your entering into an Easement Use Agreement with the County regarding the 5-foot-wide portion of the Lake Maintenance Easement upon which will be encroached by the pool/patio area of your property.

Sincerely,

NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT

By: _____

Title: _____

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

8D

LOT 77



July 27th, 2022

Naples Reserve Community Development District
C/o Ms. Cindy Cerbone
Wrathell, Hunt, and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

Re: Property: Parrot Cay Lot 77, Naples Reserve
Street Address: 14219 Charthouse Circle, Naples, FL 34114
Owner: Sean Patrick & Samantha Jean Almy
Letter of Why

Dear Ms. Cerbone,

To spare everyone time on repeating myself, if you would, please review the outline provided within the response regarding: Lot 70 to illustrate the timeline only on and how it was discovered that the easement existed.

With regard to this specific site, there has been no construction started beyond the House itself, however the same process applies from Lot 70 with regard to the Counties review of the Plans submitted that again illustrate the location of the proposed pool as it relates to the Accessory Set Back location on the Site Plan. Please see the attached Site Plan on KTS Group's title block and dated 4.01.21.

Again, we are seeking the use of the Irrigation Easement as it is part of the Accessory Setback on my Clients property. We are not encroaching the Lake Maintenance Easement at all. We have no plans to try and pass the Accessory Setback. The County changed the way they approve the Field Set of plans and no longer stamp the plans themselves, but they do include with the Permit a letter of approval for the plans that sites in the Permit Folder. I have attached this for you to review.

I have included a revision on the Pool Layout, that is slightly different from what is showing on A1.0, because when the Permit was submitted for at the beginning of the project, we used a placeholder layout from a previous house that matched this one and the pool that we build for that client. In the revisions, you will still notice, there is no crossing of the Accessory Set Back. Please see the attached Pool that we would like to permit on Environmental Design Studio's title block dated 2.26.22.

If you have any questions, please do not hesitate to contact me and I will be happy to either speak over the phone or come to your office to help answer any questions.

Respectfully,

A handwritten signature in black ink that reads 'Scott L Kish II'.

Scott L Kish II
President

PROJECT START DATE:
02.26.2021
DRAWN BY: SLK
PERMIT SET:
04.01.2021

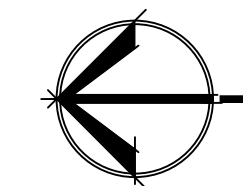
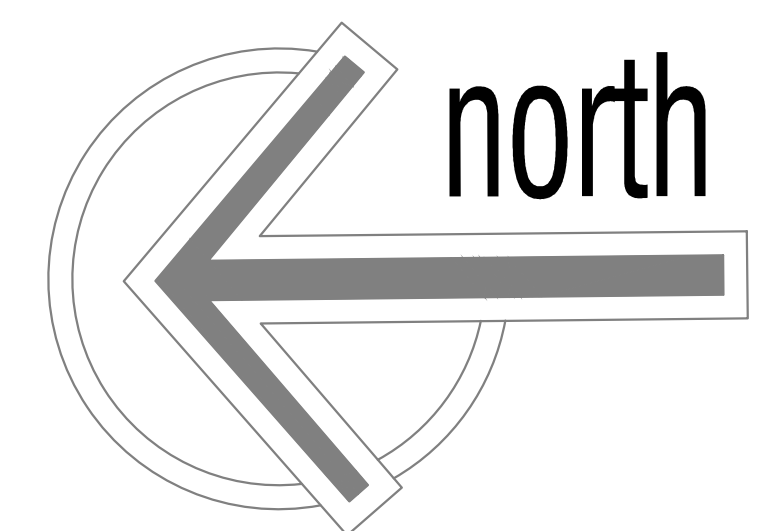
Lot 77
14219 Charthouse Cir
Naples, FL 34114

REVISIONS:

SEAL

SITE PLAN
A 1.0

Copyright © 2021 by KTS Group



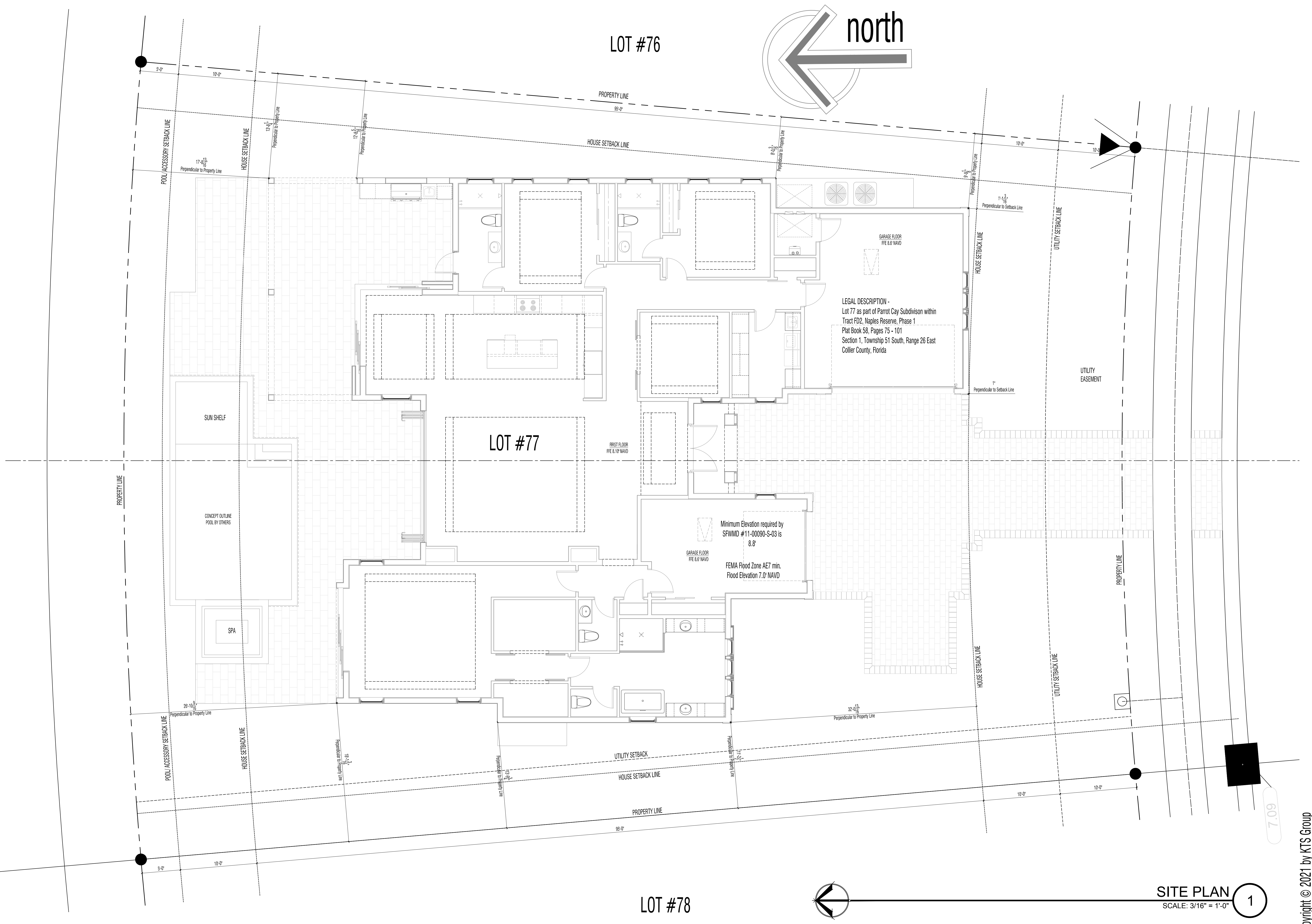
LOT #76

LOT #78

LOT #77

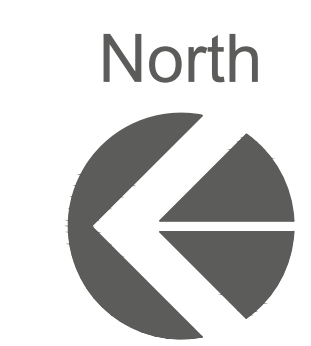
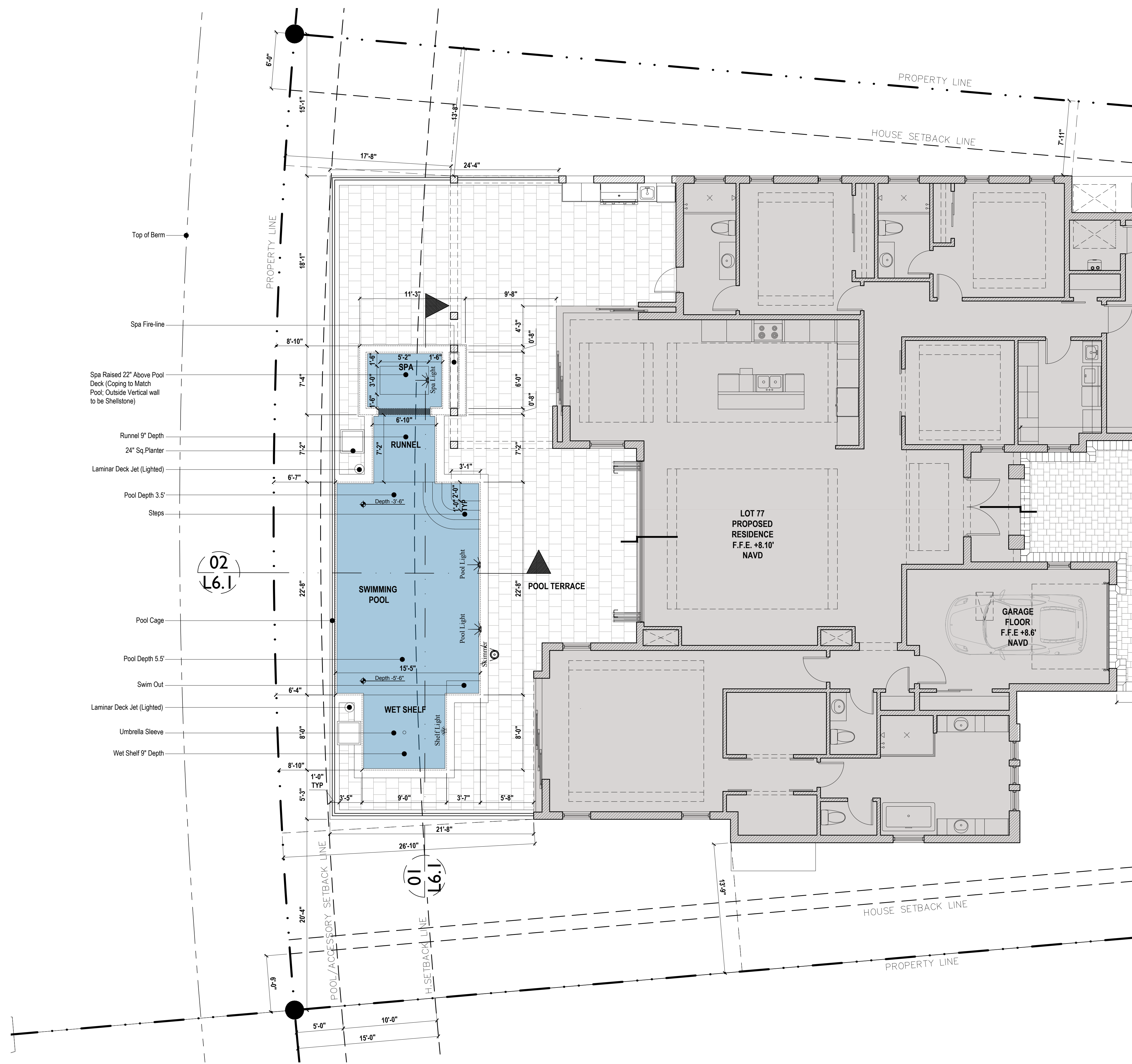
LEGAL DESCRIPTION -
Lot 77 as part of Parrot Cay Subdivision within
Tract FD2, Naples Reserve, Phase 1
Plat Book 58, Pages 75 - 101
Section 1, Township 51 South, Range 26 East
Collier County, Florida

Minimum Elevation required by
SFWMD #11-00090-S-03 is
8.8'
FEMA Flood Zone AE7 min.
Flood Elevation 7.0' NAVD



SITE PLAN
SCALE: 3/16" = 1'-0" **1**

7.09



- Notes:**
1. Pool Contractor is responsible to field verify final coping elevation with GC prior to pool shoot. Refer to Grading/Drainage Plan (L-4) for all Pool area elevation information.
 2. Any pool plumbing relocation required by the Landscape Contractor shall be performed by the Pool Contractor.
 3. Paving Contractor is responsible to field verify that all sleeves for drainage, irrigation and electrical have been laid prior to terrace installation (see to sheet L-4 for locations).
 4. See Detail Sheets for manufacturer data.

Legend

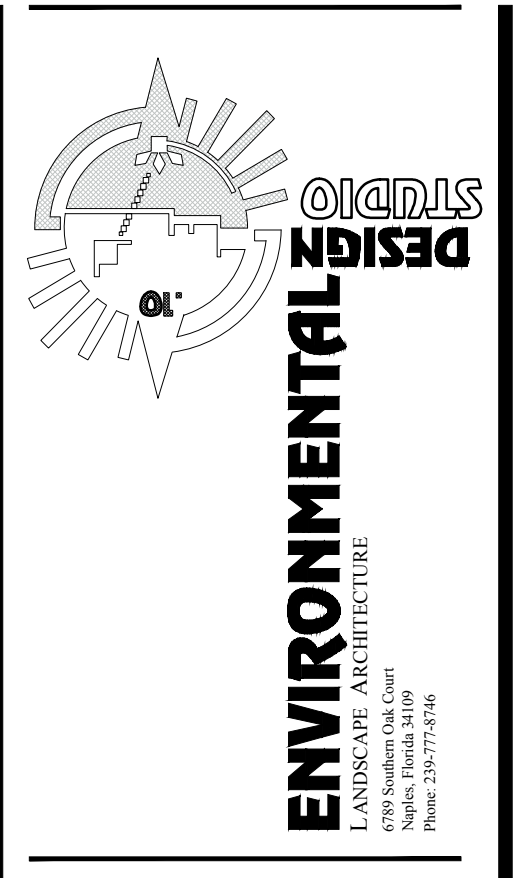
- ▲ Detail Section Reference
- 2" Sleeve w/ Sweeps
- == (2) 4" Sch 40 PVC Sleeve
- OF Over Flow
- AF Auto Fill
- ☉ Pool/Spa Light
- ☉ Skimmer

Paving Installation Notes (Pool Terrace Area):

1. The General contractor and all subsequent Sub-Contractors are to conform to all applicable State, County and Community codes.
2. Any and all errors and/or omissions shall be brought to the attention of Environmental Design Studio (EDS) prior to construction.
3. The Finish Floor Elevation provided by the Architect. All elevations shown are based upon that information.
4. Contractor must notify EDS of any discrepancies upon completion of framing & prior to pouring concrete.
5. Pavers are to be inspected and accepted prior to installation. Defects including color and texture variations, shall be rejected at the time of installation. Overall appearance defects which can be reduced or corrected with replacement pavers is to be attempted prior to replacement of an entire area.
6. Color and pattern of pavers are as specified on the plans. A color sample of the pavers shall be submitted by the sub-contractor prior to installation for approval. Pavers shall be made with iron oxide color pigments at dosage rates in excess of Industry Standards to assure greater color tone and to withstand south Florida sunlight. For best results in maintaining color range consistency, install pavers from different pallets at a time.
7. At the time of delivery of pavers to the site, the average compressive strength shall meet a minimum of 8,000 psi. as specified by ASTM. Absorption rate shall not be greater than 5%. All units shall be free of defects and minor cracks that interfere with installation or strength of the construction.
8. Bedding and joint sand shall be dry and free of salts or other organic matter likely to cause efflorescence. Granular base material shall comply with ASTM standards.
9. The paver construction site must be stripped of all topsoil, unstable or unconsolidated materials to the grades as specified. Compacted base material (100%) shall be 4" for pedestrian walks and patio construction, and 12" (min.) for roadway heavy traffic construction after compaction.
10. Adequate edge restraints shall be installed vertically down into the granular base along all open sided pavers (except for poured in place concrete curbs or concrete bands). All installed edge restraints shall be supported by a compacted base.
11. All paver surface grades and cross falls shall have a minimum slope of 2% (1/4" per foot). Slopes are to be channeled to appropriate drains and away from any unrestrained edges. Compacted course sand shall be installed as needed to meet grades at new building concrete slabs, driveways, walks, and curbs.
12. Paver pattern joint spacing must be consistent and between 1/8" and 1/16". Paving pattern alignment shall be made with string lines or chalk lines on bedding sand to hold all lines and dimensions true. After cutting and installing pavers, the area must be swept clean to visually inspect the surface for defects in color or pattern.
13. After inspection the pavers shall be compacted with a plate compactor capable of a 5,000 pound compaction force. Joint sand shall be spread over the pavers and broomed to fill the joints followed by additional compaction to settle the sand joints.
14. The paving contractor is responsible for verification and location of all underground utilities. Damage to utilities shall be repaired by the paving contractor at no additional cost to the owner.
15. The paving contractor shall be responsible for restricting access to the job site during construction to prevent pedestrian activity in unsafe areas. The paving contractor is also responsible for daily and final job cleanup, and hauling away all excess construction material.
16. Written dimensions shall take precedence over scaled dimensions per AIA standards.
17. Paving Contractor is responsible for all applicable permitting and/or fees that impact their scope.
18. For design integrity, landscape architect maintains the right to adjust layout locations as laid out in the field.

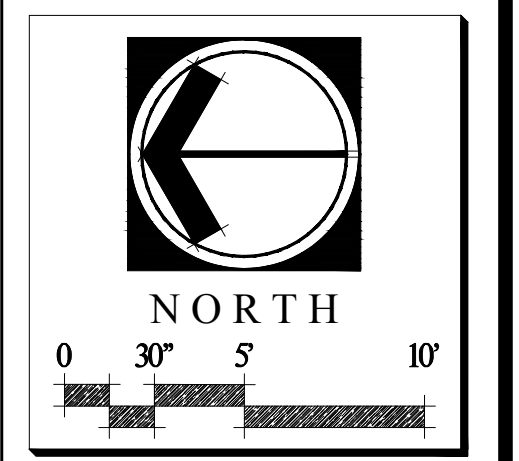
Pool Specifications

Shelf Lights	Pentair Glo Bright Fixture
Pool Lights	Pentair Glo Bright Fixture
Spa/Spillway Lights	Pentair Glo Bright Fixture
	Pentair or Jandy DE
Circulation Pump	Pentair or Jandy Variable Speed
Feature Pump	Pentair or Jandy
Sanitation	Pentair or Jandy Chlorine Generator
Main Drain	Per State Code Requirements
Auto Fill	Levolor Auto Fill
Pool Coping	See I.D. Finish Schedule For Selection
Pool Deck	See I.D. Finish Schedule For Selection
Waterline Tile	See I.D. Finish Schedule For Selection
Handrail	N/A
Ladder	N/A
Interior Finish	See I.D. Finish Schedule For Selection
Wet Shelf Tile	See I.D. Finish Schedule For Selection
Bench Tile	See I.D. Finish Schedule For Selection
Automation	Aqualink #8 w/ PDA Remote
Heater	Pentair or Jandy Electric Heat Pump
Skimmer Lids	Material To Match Pool Deck



Michael E. Behrmdt, ASLA
Florida LIC. # LA6666796

Almy Residence
14219 Charthouse Circle
Lot # 77 Naples Reserve
Naples, FL 34114



SCALE: 3/16" = 1'-0"
This design and all content thereof are the sole property of Environmental Design Studio, Inc. Plans shall not be copied, reproduced or revised without the consent of Environmental Design Studio, Inc.

HARDSCAPE & LAYOUT - REAR

Issue Date: February 26, 2022
Revision No.:
Date:

SHEET # L-03

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.
CALL "SUNSHINE 811" BEFORE DIGGING
Dial 811 or visit www.sunshine811.com

Approval of Construction Documents

Building Plan Review & Inspection

2800 N. Horseshoe Dr, Naples, FL 34104 239-252-2400



Residential Permits

These electronic documents have been reviewed for Code Compliance by the Building Plan Review & Inspection Division of the Collier County Growth Management Department. The documents are available for download from the [GMD Public Portal](#). These specific documents, listed as "Approved Plans (PR)" on the Portal, must be available for Inspectors to review on the job site in either electronic or paper form as the approved version in accordance with the Florida Building Code Section 107.3.1. Other supporting documents may be required on site as needed to meet code requirements.

Permit Number: PRBD2021052185901

Job Site Address: 14219 Charthouse CIR, Vacant Land, Naples

Permit Description: Single family residential new house, pool w/ spa, lanai enclosure & buried propane tank.
14219 Charthouse CIR, Vacant Land, Naples
4bed 4w/c

Permit Issuance Date: 07/18/2021

Document List:

Portal File Type	Portal File Name
1. Approved Plans (PR)	Energy Calculations (Lot 77 - Electrical LPR.pdf)
2. Approved Plans (PR)	Certified Site Plan (Lot 77_Site Plan SS.pdf)
3. Approved Plans (PR)	Construction Plans (Lot 77_Permit_CD_040121 - Prepared.pdf)
4. Approved Plans (PR)	Construction Plans (14219 Charthouse Circle Struct - Prepared.pdf)
5. Approved Plans (PR)	Energy Calculations (Lot 77 E-Calcs (signed) - Prepared.pdf)
6. Approved Plans (PR)	Product Approval Index Sheet (Lot 77_NOA Index Sheet - Prepared.pdf)

July 27, 2022

Naples Reserve Community Development District
c/o Ms. Cindy Cerbone
Wrathell, Hunt and Associates, LLC
2300 Glades Road, Suite 410W
Boca Raton, FL 33431

Via email to info@naplesreservecdd.net

**Re: Property: Parrot Cay Lot 77, Naples Reserve
Street Address: 14219 Charthouse Circle, Naples, FL 34114
Owner: Sean Patrick & Samantha Jean Almy
Easement Use Agreement**

Dear Ms. Cerbone:

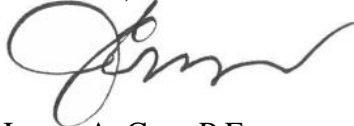
Sean and Samantha Almy are seeking to enter into an Easement Use Agreement with the County regarding a portion of the platted 10' wide lake maintenance easement on Parrot Cay Lot 77 in Naples Reserve. The pool and patio deck will be constructed to the required 5' rear yard accessory setback. However, the improvements are partially (less than 5') within the lake maintenance easement as dedicated to Collier County and the CDD (see attached exhibit).

We have drafted the attached Letter of No Objection and are providing to you in Word format so that it may be placed on the CDD's letterhead. We respectfully request it be executed by the CDD and returned to me by email so that Mr. and Mrs. Almy may enter into the Lake Management Easement Use Agreement with the County.

If you have any questions, please do not hesitate to contact me or my permitting coordinator, Denise Rakich.

Sincerely,

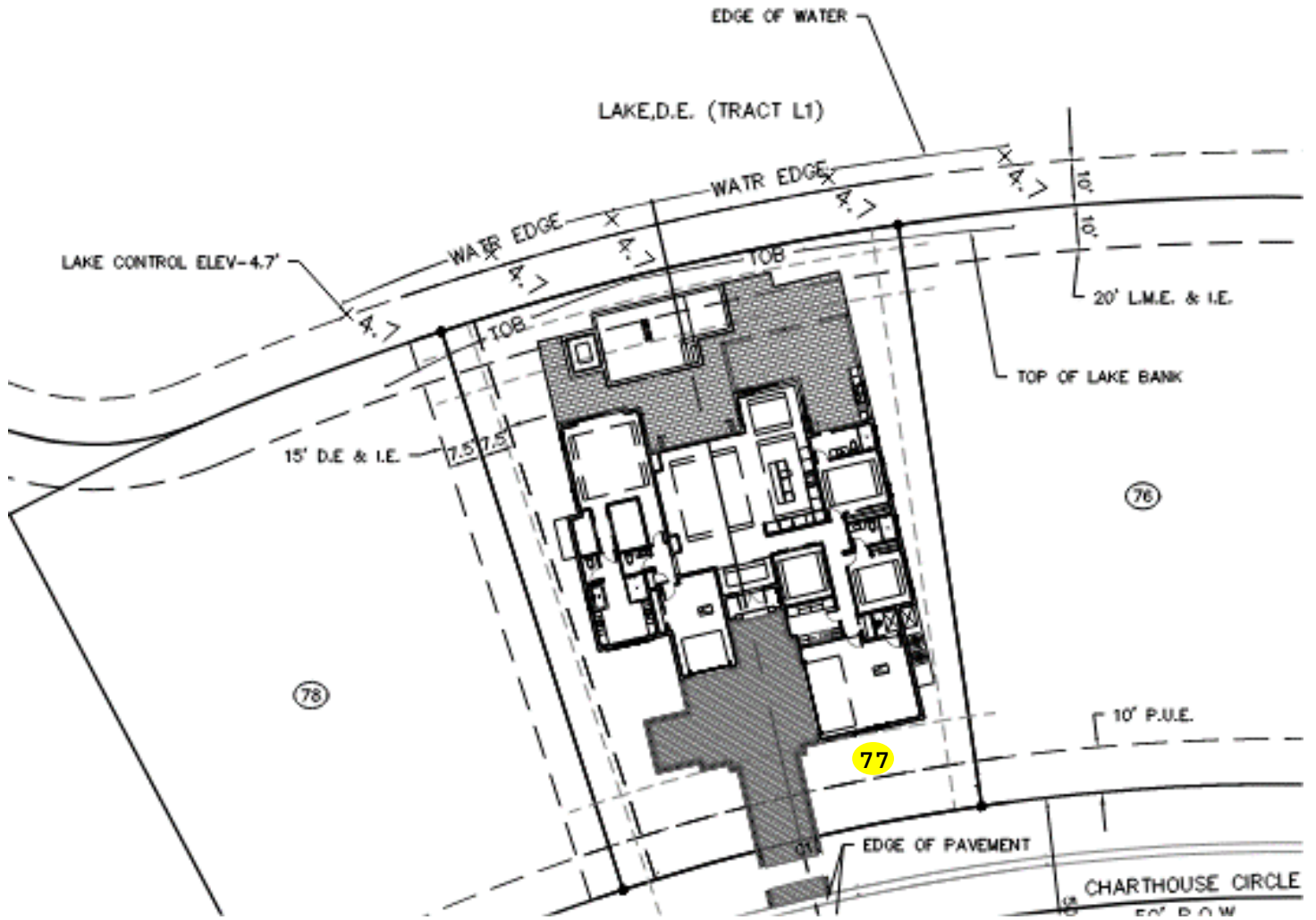
AGNOLI, BARBER & BRUNDAGE, INC.



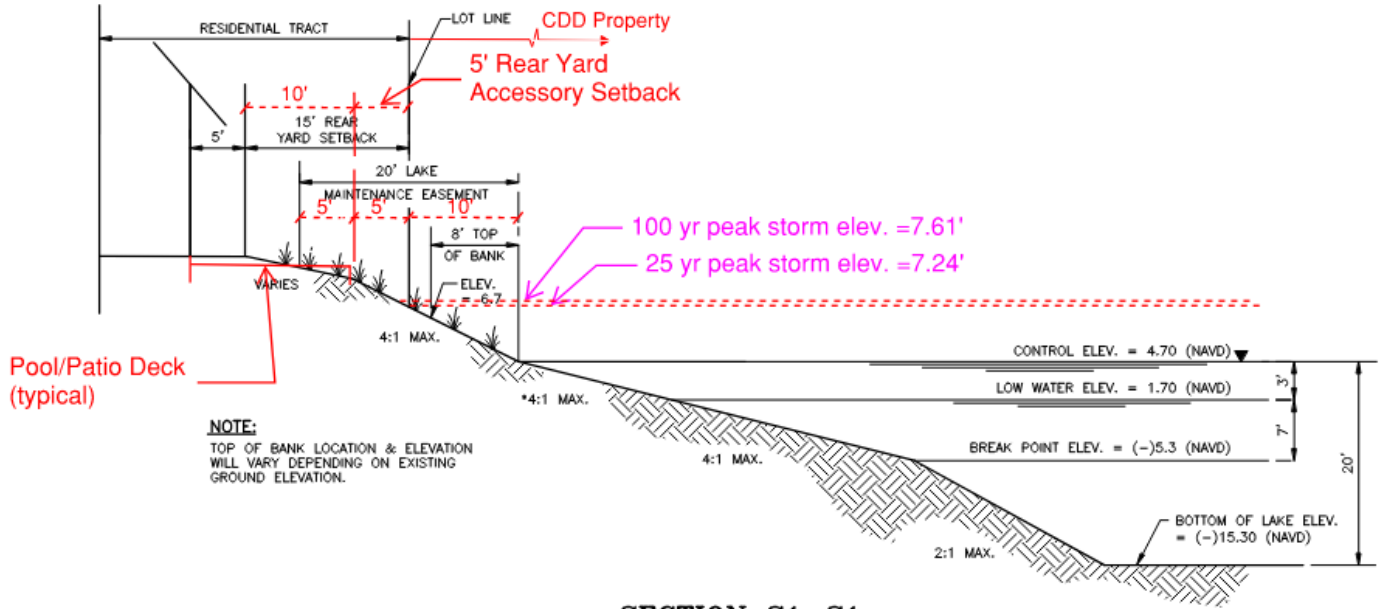
James A. Carr, P.E.
Senior Vice President
Project Engineer

JAC/drr
Attachments

PARROT CAY LOT 77, NAPLES RESERVE
14219 Charthouse Circle, Naples, FL 34114
Owner: Sean Patrick and Samantha Jean Almy



TYPICAL LAKE SECTION



SECTION S1-S1
RESIDENTIAL TRACT ADJACENT
TO WATER MANAGEMENT LAKE
N.T.S.

[Naples Reserve Community Development District Letterhead]

July ____, 2022

Mr. and Mrs. Sean Almy
3 Devine Lane
Southborough, MA 01772

**Re: Parrot Cay Lot 77, Naples Reserve
14219 Charthouse Circle, Naples, FL 34114
Owner: Sean Patrick & Samantha Jean Almy
Easement Use Agreement**

Dear Mr. and Mrs. Almy:

The Naples Reserve Community Development District has no objection to your entering into an Easement Use Agreement with the County regarding the 5-foot-wide portion of the Lake Maintenance Easement upon which will be encroached by the pool/patio area of your property.

Sincerely,

NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT

By: _____

Title: _____

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9

From: [Naples Reserve DRC](#)
To: [Jamie Sanchez](#)
Cc: [Tom Marquardt](#)
Subject: 14361 Charthouse Circle Lot 53
Date: Monday, July 18, 2022 9:29:26 AM
Attachments: [14361 Charthouse Corrections Letter 1st Single Family-2.pdf](#)
[14361 Charthouse Corrections Letter 2nd Single Family.pdf](#)
[14361 Charthouse Circle Lot 53 Pool Application Approval.pdf](#)
[14361 Charthouse New Build Plans.pdf](#)
[14361 Charthouse - Propane tank.pdf](#)
[14361 CHARTHOUSE CIR - EASEMENT VAC.pdf](#)
[14361 Charthouse Circle - Spot Survey APPROVED \(Final\) \(1\).pdf](#)

Hello Jamie and Tom,

Attached to this email you will find the survey and approval for the house under construction at 14361 Charthouse Circle, Lot 53. The left side of the house was built into the drainage easement and they are seeking an easement agreement with the CDD. After a phone conversation with the builder this morning, they will be relocating the A/C unit to the other side of the house and they will be removing the wall that concealed that equipment. You will also see the corrections letter. Please let me know if you have any questions. My contact at Florida Lifestyle is Rhonda Severance Rhonda@flhfl.com

Thank you,

Lisa Wild

Naples Reserve Design Review Committee

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9A

COLLIER COUNTY GOVERNMENT

GROWTH MANAGEMENT DEPARTMENT / BUILDING REVIEW & INSPECTION DIVISION
2800 N. Horseshoe Drive, Naples FL 34104 * Phone (239) 252-2428

Outstanding First Corrections

Date: June 24, 2022
Contact Name: ERIC KOCH
Address: unit 5, Unit 5
City, State Zip: Cape Coral, FL 33909

Contact Name: COOL WATER CUSTOM POOLS INC
Address: 674 STONECREST LANE #5
City, State Zip: CAPE CORAL, FL 33909

PERMIT NO: PRSPL2022041746501
APPLICATION NO: PRSPL20220417465
JOB SITE ADDRESS: 14361 Charthouse CIR, Naples, Vacant Land
Email: office@coolwatercustompoolsinc.com
APPLICATION NO: PRSPL20220417465
JOB SITE ADDRESS: 14361 Charthouse CIR, Naples, Vacant Land
Email: OFFICE@COOLWATERCUSTOMPOOLSINC.COM

Dear Applicant:

Plans submitted with the referenced permit have been reviewed. We are unable to approve your permit application for the reason(s) indicated below.

In accordance with Section 553.79(16), F.S. (2021), "the applicant has 10 business days after receiving the written notice to submit revisions to correct the permit application and that failure to correct the application within 10 business days will result in a denial of the application", unless applicant agrees to a longer period in writing. You can upload your signed "Waiver" [Located Here](#) to the "Waiver of review time limits" condition with your submittal addressing the outstanding comments.

For Applications Submitted through the GMD E-Permitting Portal:

- Resubmittals must be submitted in the same session and the changes must be clouded.
- Corrected documents must be submitted as complete files (with the corrected sheets *replacing* the rejected sheets). Submittals containing just the corrected sheets will be returned as Insufficient.
- A written letter of response summarizing the changes made to address each correction comment must be included in your resubmittal. Failure to include a written letter of response could result in a rejection.
- After your resubmittal is processed the documents will be reviewed again; additional deficiencies may be identified through this process.

JOB DESCRIPTION: Pool and SPA master plans, no light niche, Paver deck with footer PRPO20210837967
PRBD20210839347
14361 Charthouse CIR, Naples, Vacant Land

Rejected Review: Plumbing and Handicap Review

Reviewed By: Tobias Hytonen

Phone: 239-276-4460 Email: Tobias.Hytonen@colliercountyfl.gov

Correction Comment 1: 454.2.18 Ladders and steps.

All pools whether public or private shall be provided with a ladder or steps in the shallow end where water depth exceeds 24 inches (610 mm). In private pools where water depth exceeds 5 feet (1524 mm) there shall be ladders, stairs or underwater benches/swim-outs in the deep end. Where manufactured diving equipment is to be used, benches or swim-outs shall be recessed or located in a corner.

Exception: In private pools having more than one shallow end, only one set of steps are required. A bench, swimout or ladder may be used at all additional shallow ends in lieu of an additional set of steps.

Correction Comment 2:

Informational only: FBC 107.2.1 Construction documents shall be of sufficient clarity to indicate location, nature and extent of the work proposed and show in detail that it will conform to the provisions of this code and relevant laws, ordinances, rules, and regulations as determined by the building official.

This review shall be considered incomplete pending receipt of requested and required information. Subsequent review(s) may

reveal additional deficiencies.

Rejected Review: Zoning Review
Reviewed By: Maria Estrada
Phone:239-252-2408 Email:maria.estrada@colliercountyfl.gov

Correction Comment 1: Proposed improvements are located within a dedicated easement. Please provide letter from entities that have interest/maintenance responsibility of the easement, authorizing the proposed improvements. (i.e., HOA)

Correction Comment 2: Proposed improvements are located within an easement dedicated to Collier County. Please see options below:

1. Relocate proposed improvements to be out of the easement (Provide New Site Plan showing the relocation).

OR

2. Submit an application for Easement Use Agreement, which will require approval by the Board of County Commissioners. Please contact Marcus Berman for application process at 239-252-6885 or Marcus.Berman@colliercountyfl.gov <https://www.colliercountyfl.gov/home/showdocument?id=89278>. A copy of the approved Easement Use Agreement must be submitted as a correction to this application.

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9B

COLLIER COUNTY GOVERNMENT

GROWTH MANAGEMENT DEPARTMENT / BUILDING REVIEW & INSPECTION DIVISION
2800 N. Horseshoe Drive, Naples FL 34104 * Phone (239) 252-2428

Second Correction Notification of Denial

Date: July 16, 2022
Contact Name: ERIC KOCH
Address: unit 5, Unit 5
City, State Zip: Cape Coral, FL 33909

PERMIT NO: PRSPL2022041746501
APPLICATION NO: PRSPL20220417465
JOB SITE ADDRESS: 14361 Charthouse CIR, Naples,
Vacant Land
Email:office@coolwatercustompoolsinc.com

Dear Applicant:

Upon review of your corrections, the county will not be able to approve your permit application for the reason(s) indicated below. At this time the permit application referenced in this notice shall be considered denied in accordance with Section 553.79 (16), F.S. (2021). Please upload your signed "Waiver" [Located Here](#) to the "Waiver of review time limits" condition with your submittal addressing the outstanding comments.

For Applications Submitted through the GMD E-Permitting Portal:

- Resubmittals must be submitted in the same session and the changes must be clouded.
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- A written letter of response summarizing the changes made to address each correction comment must be included in your resubmittal. Failure to include a written letter of response could result in a rejection.
- After your resubmittal is processed the documents will be reviewed again; additional deficiencies may be identified through this process.

JOB DESCRIPTION: Pool and SPA master plans, no light niche, Paver deck with footer PRPO20210837967
PRBD20210839347
14361 Charthouse CIR, Naples, Vacant Land

Rejected Review: Zoning Review
Reviewed By: Maria Estrada
Phone:239-252-2408 Email:maria.estrada@colliercountyfl.gov

Correction Comment 1: REV 2: Comment Remains; HOA approval (Naples Reserve Homeowner's Association and EUA needed. Construction plans show screen door pad encroaching into the easement. Easement Use Agreement required for minor encroachments.

REV 1: Proposed improvements are located within a dedicated easement. Please provide letter from entities that have interest/maintenance responsibility of the easement, authorizing the proposed improvements. (i.e., HOA)

Correction Comment 3: Certified Site plan revised to meet the 7.5' required setback but deck shows 3'-3" measurement from spa to outside of screen line and the construction plans do not match certified site plan.

Correction Comment 4: LDC 4.02.01 D.8.: hoods, canopies, or roof overhangs shall not project over 3 feet into a required yard, but shall not come closer than 1 foot to the lot line.

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9C

Priskorn Residence

at
Naples Reserve Lot 53
14361 Charthouse Circle
Naples, FL 34114



DRAWING INDEX

- A-100 COVER SHEET, DESIGN PARAMETERS
- A-101 SITE PLAN
- A-102 FOUNDATION PLAN
- A-103 ARCHITECTURAL NOTES, GENERAL NOTES & FOOTING DETAILS
- A-104 FLOOR PLAN
- A-105 REFLECTED CEILING PLAN
- A-106 ROOF PLAN
- A-107 WINDOW & DOOR SCHEDULE ELEVATIONS
- A-108 WALL SECTIONS & DETAILS
- A-109 SECTIONS & DETAILS
- A-110 ELECTRICAL FLOOR PLAN
- A-112 POOL & DECK LAYOUT PLAN



Digitally signed by Michael D. Stewart
DN: c=US, ou=Professional Engineer,
ou=Michael D. Stewart,
ou=16161, email=mstewart@priskorn.com,
serial=0213201716161, c=US

NOA INDEX SHEET				
TYPE OF PRODUCT	PLA NUMBER APPROVAL (N/A)	DESIGN PRESSURE	WIND SPEED CATEGORY	APPROVED DATE
FRONT EXTERIOR WALLS	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (1st FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (2nd FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (3rd FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (4th FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (5th FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (6th FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (7th FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (8th FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (9th FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18
FRONT EXTERIOR WALLS (10th FLOOR)	PL 2018 - 180	+ 30.0 / - 30.0 psf	YES	08/20/18

THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PLAN.

NOA INDEX SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

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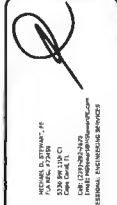
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DESIGN PARAMETERS	
APPLICABLE CODES BUILDING CODE - "IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE, ANY SECTION." INTERNATIONAL CODE - "IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE." PLUMBING CODE - "IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE." MECHANICAL CODE - "IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE." FIRE SAFETY CODE - "IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE." ENERGY CODE - "IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE." OTHER CODES - "IN ACCORDANCE WITH THE 2018 FLORIDA BUILDING CODE."	SELECTION OF MEMBER TYPE TYPE I-A <input type="checkbox"/> TYPE I-B <input type="checkbox"/> TYPE I-C <input type="checkbox"/> TYPE II-A <input type="checkbox"/> TYPE II-B <input type="checkbox"/> TYPE II-C <input type="checkbox"/> TYPE III-A <input type="checkbox"/> TYPE III-B <input type="checkbox"/> TYPE III-C <input type="checkbox"/> TYPE III-D <input type="checkbox"/> TYPE III-E <input type="checkbox"/> TYPE III-F <input type="checkbox"/>
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Digitally signed by Michael D. Stewart
DN: c=US, ou=Professional Engineer,
ou=Michael D. Stewart,
ou=16161, email=mstewart@priskorn.com,
serial=0213201716161, c=US

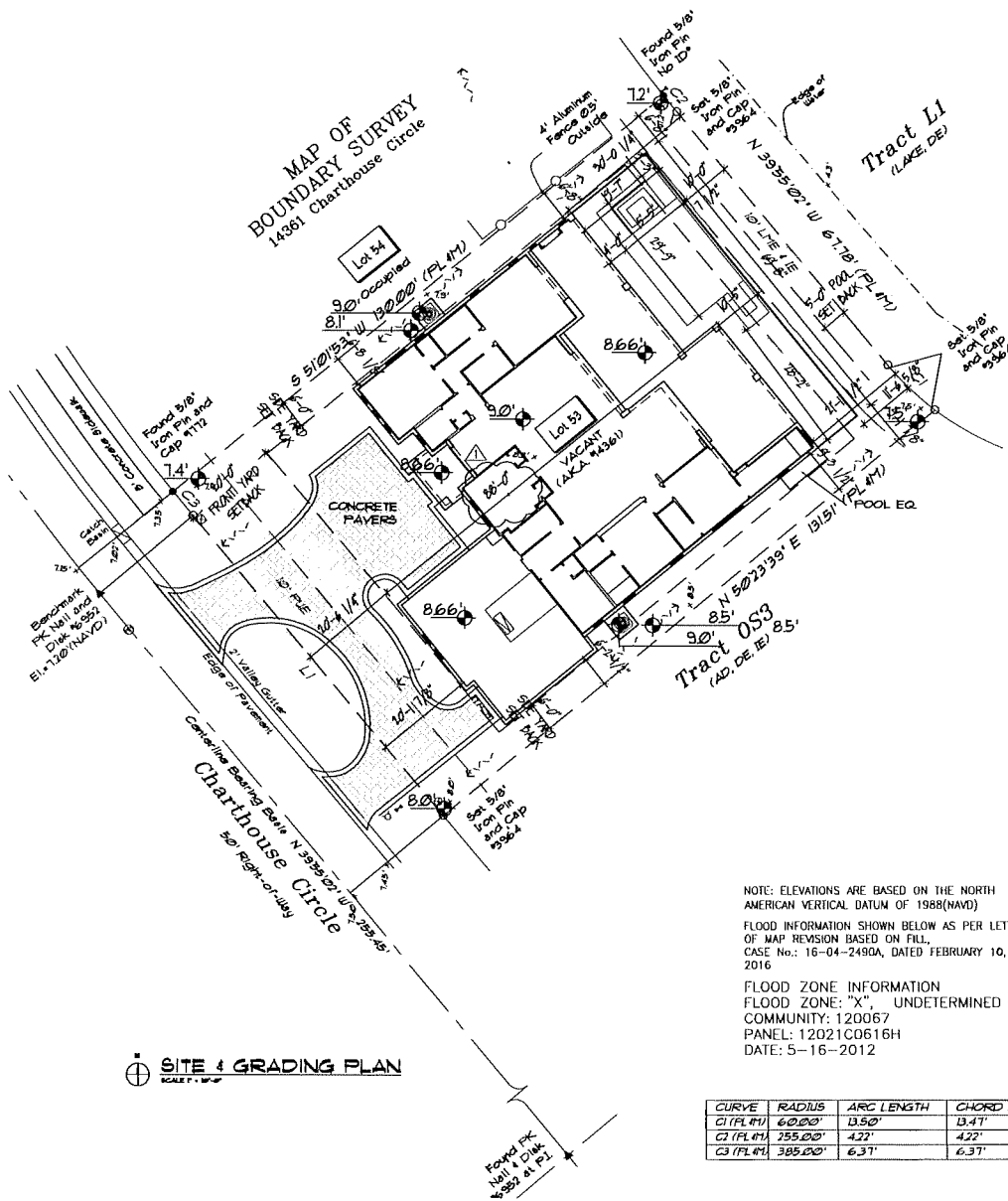
Florida Licensure
14311 Metropolitan Avenue, Suite 100
Naples, Florida 34104
Phone: 239-464-9142 Fax: 239-464-9174
www.floridalicensure.com

A New Home for:
Priskorn Residence
Naples Reserve Lot 53
14361 Charthouse Circle
Naples, Florida 34114

53	1664
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Naples Reserve Parrot Cay
53N700 536B01

Sheet
A-100



SITE & GRADING PLAN
SCALE: 1/8" = 1'-0"

NOTE: ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD)
FLOOD INFORMATION SHOWN BELOW AS PER LETTER OF MAP REVISION BASED ON FILL,
CASE No.: 16-04-2490A, DATED FEBRUARY 10, 2016

FLOOD ZONE INFORMATION
FLOOD ZONE: "X", UNDETERMINED
COMMUNITY: 120067
PANEL: 12021C0616H
DATE: 5-16-2012

LINE	BEARING	DISTANCE
L1 (PL 41)	N 39°23'02" E	80.45'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PL 41)	60.00'	13.50'	13.41'	N 46°21'44" W	125°3'24"
C2 (PL 41)	255.00'	4.22'	4.22'	N 39°26'34" W	00°56'55"
C3 (PL 41)	385.00'	6.31'	6.31'	N 39°26'35" W	00°56'55"

3-1/2" MIN. ADDED OVER ALL DIM OF HOUSE



Michael D. Stewart, P.E.
Professional Engineer
No. 120067
State of Florida
www.michaelstewart.com

MICHAEL D. STEWART, P.E.
P.E. #2500



14316 Manatee Avenue South, Unit 101
Naples, Florida 34102
Ph: 407.336.1111
www.thepriskomresidence.com

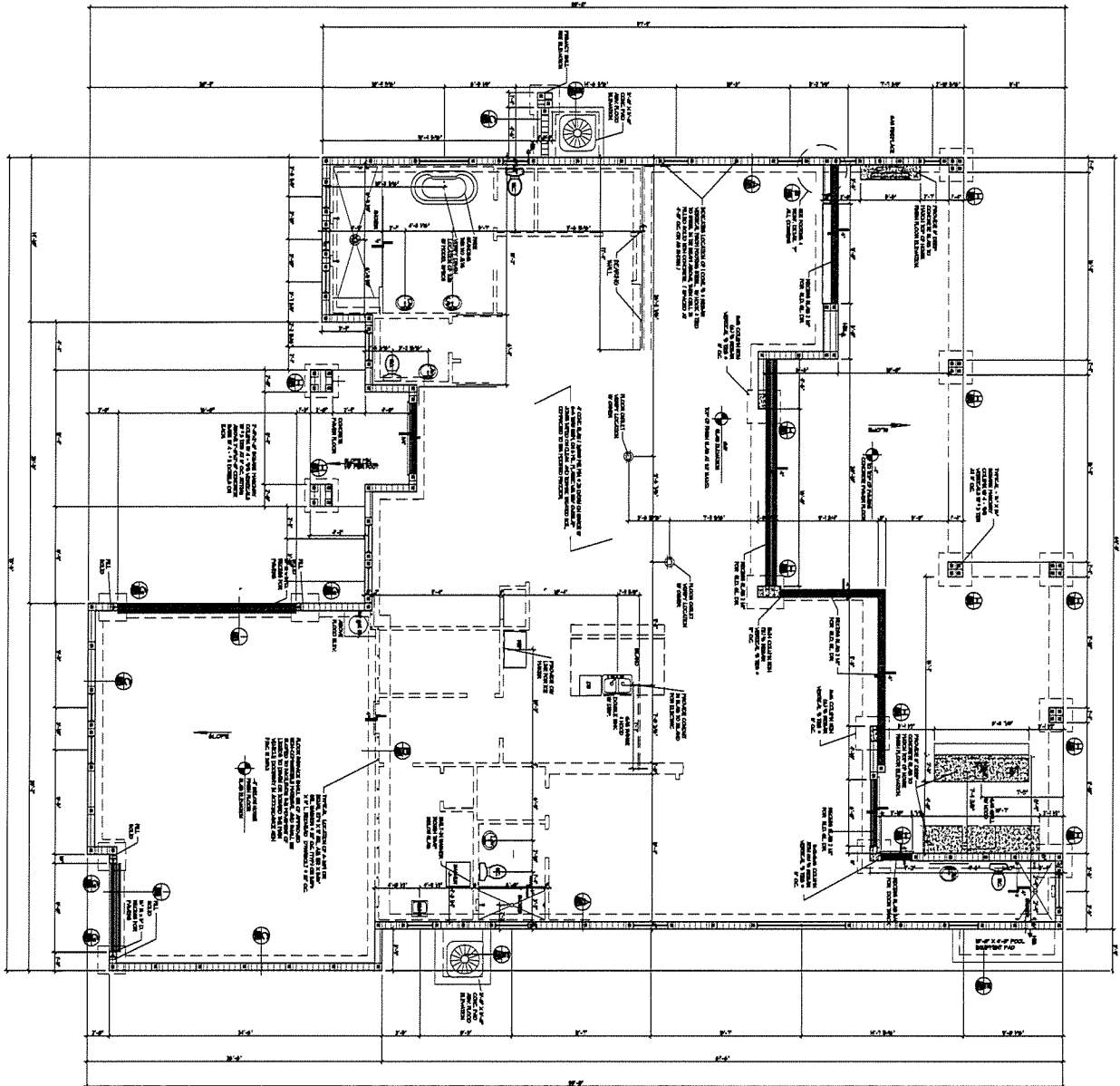
A New Home for:
Priskom Residence
Naples Reserve Lot 53
14361 Chartreuse Circle
Naples, Florida 34114

STATION	COUNTY	COMMENT

53
1664
Naples Reserve Parcel C4
538700 536801

Drawn by:
DKZ
Date:
2/15/2012
Sheet
A-101

FOUNDATION PLAN



- FOUNDATION NOTES**
1. THE OWNER AND/OR THE CONTRACTOR SHALL VERIFY ALL DETAILS AND CONSTRUCTION.
 2. PROVIDE #4 REBAR ELECTRICAL GROUND TO THE STRAP OR CENTER VENTED TO OUTSIDE WITH REBAR VENT DOWN-HEAD.
 3. PROVIDE REBAR AS SHOWN.
 4. PROVIDE REBAR AT 4'-0" O.C. OR AS INDICATED.
 5. PROVIDE REBAR AT 2'-0" O.C. OR AS INDICATED.
 6. PROVIDE REBAR AT 1'-0" O.C. OR AS INDICATED.
 7. PROVIDE REBAR AT 8" O.C. OR AS INDICATED.

NOTE:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS.
 REBAR SHALL BE #4 UNLESS OTHERWISE INDICATED.
 CONCRETE SHALL BE 4000 PSI.
 ALL CONCRETE SHALL BE 4000 PSI.
 ALL CONCRETE SHALL BE 4000 PSI.

DATE	ISSUED	BY	REVISION
08/24/11	08/24/11	MS	
08/24/11	08/24/11	MS	
08/24/11	08/24/11	MS	

53
1664
Naples Reserve (Plant City)
SINOTRUST

DKZ
MS
A-102
SHEET

A New Home for:
Priskorn Residence
 Naples Reserve Lot 53
 14361 Charthouse Circle
 Naples, Florida 34114

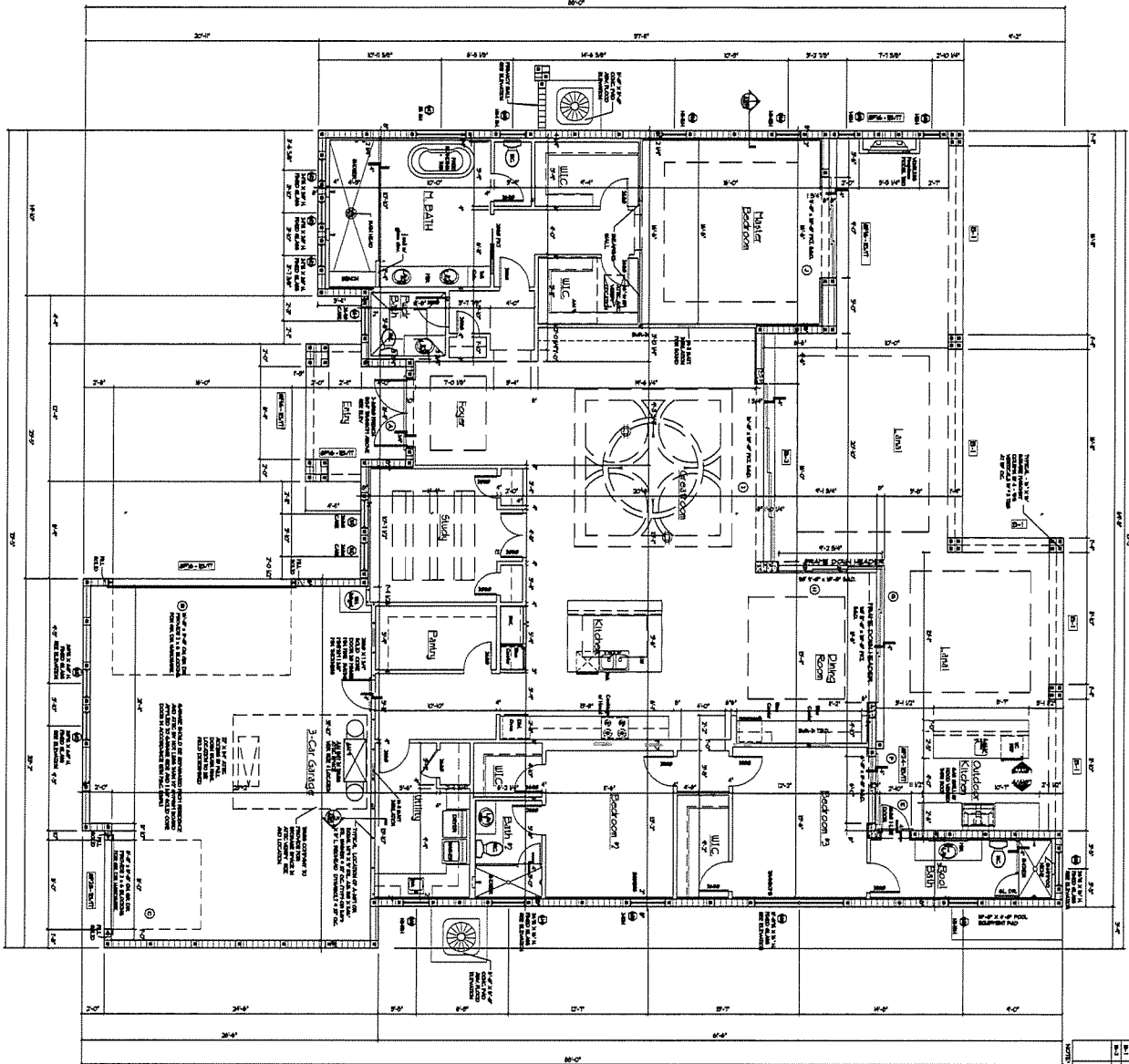
Florida Lifestyle Homes

14311 Metropolis Avenue Suite 101
 Fort Myers, Florida 33912
 Ph. 239-449-1134 Fax: 239-449-0754
 info@floridalifestylehomes.com
 www.floridalifestylehomes.com

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 P.E. #72459

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 www.floridalifestylehomes.com

FLOOR PLAN
SCALE 1/8" = 1'-0"



BRAT SCHEDULE

BRAT NO.	BRAT TYPE	BRAT SIZE	BRAT LOCATION
1	BRAT	12" X 12"	Living Room
2	BRAT	12" X 12"	Dining Room
3	BRAT	12" X 12"	Kitchen
4	BRAT	12" X 12"	Bedroom 1
5	BRAT	12" X 12"	Bedroom 2
6	BRAT	12" X 12"	Bedroom 3
7	BRAT	12" X 12"	Bathroom 1
8	BRAT	12" X 12"	Bathroom 2
9	BRAT	12" X 12"	Laundry Room
10	BRAT	12" X 12"	Garage

PRECAST LINTELS

NO.	LOCATION	SIZE	REMARKS
1	Living Room	12" X 12"	
2	Dining Room	12" X 12"	
3	Kitchen	12" X 12"	
4	Bedroom 1	12" X 12"	
5	Bedroom 2	12" X 12"	
6	Bedroom 3	12" X 12"	
7	Bathroom 1	12" X 12"	
8	Bathroom 2	12" X 12"	
9	Laundry Room	12" X 12"	
10	Garage	12" X 12"	

AREAS

NO.	LOCATION	AREA	REMARKS
1	Living Room	1200	
2	Dining Room	1000	
3	Kitchen	800	
4	Bedroom 1	1100	
5	Bedroom 2	1000	
6	Bedroom 3	1000	
7	Bathroom 1	500	
8	Bathroom 2	500	
9	Laundry Room	300	
10	Garage	3000	

WALL LEGEND

NO.	DESCRIPTION
1	1/2" CMU
2	1/2" CMU with Insulation
3	1/2" CMU with Insulation and Stucco
4	1/2" CMU with Insulation and Stucco on Exterior
5	1/2" CMU with Insulation and Stucco on Interior
6	1/2" CMU with Insulation and Stucco on Both Sides

NOTE:
PRECAST LINTELS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRECAST/PRESTRESSING INSTITUTE (PCI) AND SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.

NOTES:
1. ALL PRECAST LINTELS SHALL BE 8'-0" X 8'-0" AT A MINIMUM, BY THE MANUFACTURER'S RECOMMENDATION. THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND TESTING OF THE LINTELS TO BE USED IN THIS PROJECT.
2. THE MANUFACTURER SHALL VERIFY ALL TOLERANCES AND DIMENSIONS FOR THE LINTELS TO BE USED IN THIS PROJECT.
3. THE MANUFACTURER SHALL VERIFY ALL TOLERANCES AND DIMENSIONS FOR THE LINTELS TO BE USED IN THIS PROJECT.
4. THE MANUFACTURER SHALL VERIFY ALL TOLERANCES AND DIMENSIONS FOR THE LINTELS TO BE USED IN THIS PROJECT.
5. THE MANUFACTURER SHALL VERIFY ALL TOLERANCES AND DIMENSIONS FOR THE LINTELS TO BE USED IN THIS PROJECT.

COMPLIANCE STATEMENT
I, the undersigned, being a duly Licensed Professional Engineer, do hereby certify that I am the author of the above described project and that I am a duly Licensed Professional Engineer in the State of Florida. My License No. is 1664.

Project: Naples Reserve
Sheet: A-104
Scale: 1/8" = 1'-0"

1664

Stewart

3570W 536801

A New Home for:
Priskorn Residence
Naples Reserve Lot 53
14361 Charthouse Circle
Naples, Florida 34114

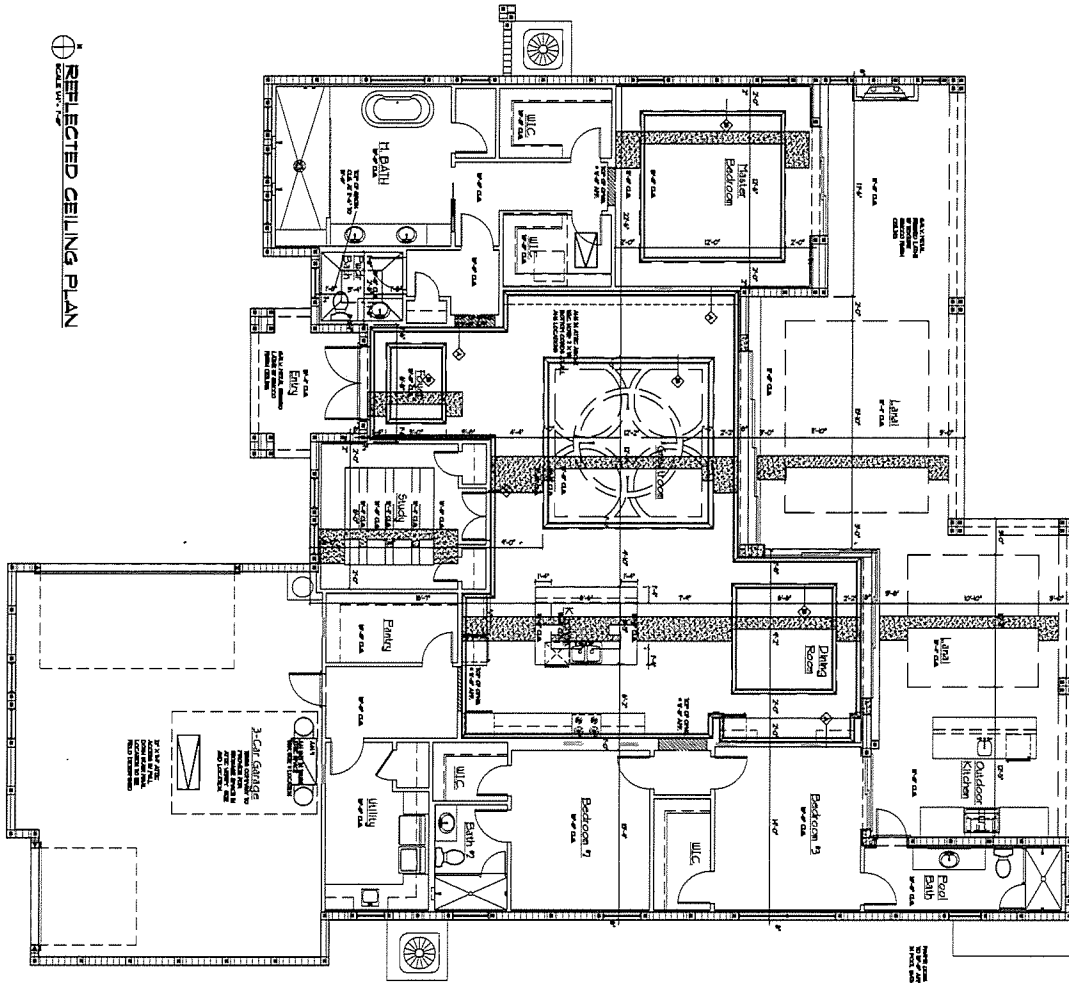
Florida Lifestyle Homes

14311 Metropolis Avenue Suite 101
Fort Myers, Florida 33912
Ph: 239-494-0154 Fax: 239-494-0734
sales@floralifestylehomes.com
www.floralifestylehomes.com

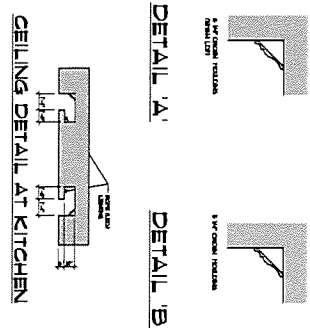
MICHAEL D. STEWART, P.E.
P.E. #72459

1225 SW 2nd St
Fort Myers, FL 33901
Tel: 239-939-7112
Fax: 239-939-7113
Email: mstewart@pe.com

REFLECTED CEILING PLAN



- REFLECTED CEILING TYPE NOTES**
1. LIVING ROOM B = 7'-0"
 2. ALL OTHERS B = 8'-0"
 3. KITCHEN CROWN MOLDINGS B = 8'-0" AT FORGETTER HALL WAY
 4. HALL CROWN MOLDINGS B = 8'-0" AT
 5. BEDROOM CROWN MOLDINGS B = 8'-0" AT
 6. BATH CROWN MOLDINGS B = 8'-0" AT
 7. UTILITY CROWN MOLDINGS B = 8'-0" AT
 8. ALL OTHERS B = 8'-0" AT



Project No.	1661
Client	Naples Reserve Home Co. 53700 536800
Sheet	A-105
Scale	AS SHOWN
Date	10/14/14
Drawn by	MS
Checked by	MS
Approved by	MS

A New Home for:
Priskorn Residence
 Naples Reserve Lot 53
 14361 Charthouse Circle
 Naples, Florida 34114

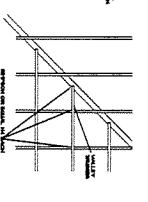
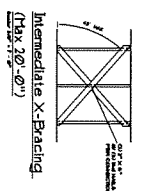
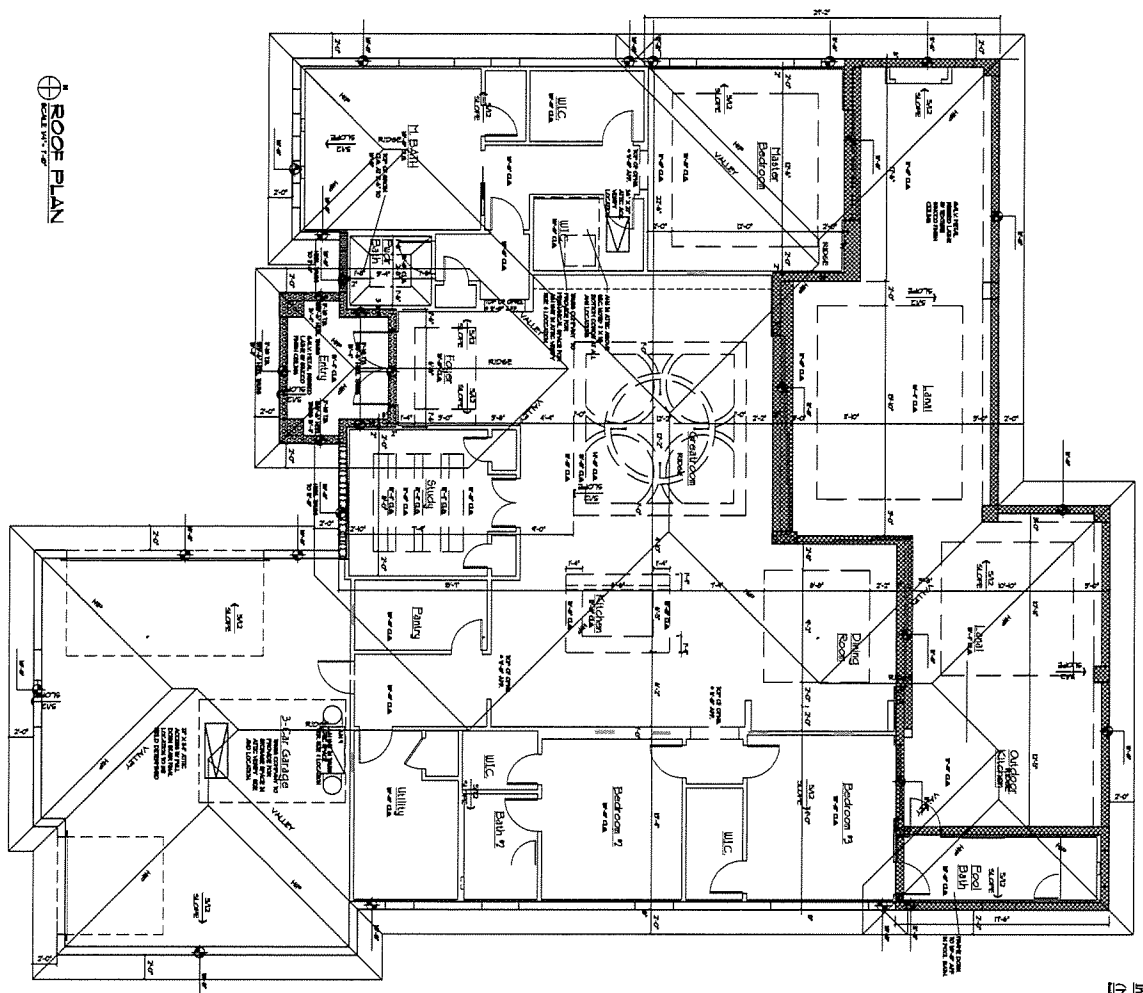
Florida Lifestyle Homes
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 info@floralifestylehomes.com
 www.floralifestylehomes.com

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 P.E. #72459

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 Website: www.msdengineering.com



ROOF PLAN



Bottom Chord Bracing Detail for Re-Engineered Wood Trusses

1. PROVIDE BOTTOM CHORD BRACING TO THE TRUSS CHORDS TO PROVIDE LATERAL STABILITY TO THE TRUSS CHORDS. BRACING SHALL BE PROVIDED TO ALL TRUSS CHORDS THAT ARE NOT SUPPORTED BY ANOTHER TRUSS CHORD OR WALL.

2. BRACING SHALL BE PROVIDED TO ALL TRUSS CHORDS THAT ARE NOT SUPPORTED BY ANOTHER TRUSS CHORD OR WALL.

3. BRACING SHALL BE PROVIDED TO ALL TRUSS CHORDS THAT ARE NOT SUPPORTED BY ANOTHER TRUSS CHORD OR WALL.

ROOF & WALL NAILING REQUIREMENTS

1. ROOF AND WALL SHEATHING SHALL BE NAILING TO JOISTS OR TRUSSES AT 6" ON CENTER.

2. ROOF AND WALL SHEATHING SHALL BE NAILING TO JOISTS OR TRUSSES AT 6" ON CENTER.

3. ROOF AND WALL SHEATHING SHALL BE NAILING TO JOISTS OR TRUSSES AT 6" ON CENTER.

ROOF CONSTRUCTION NOTES

1. PROVIDE 1/2" MINIMUM GROUND ANCHORS TO BE PROVIDED TO ALL TRUSS CHORDS TO PROVIDE LATERAL STABILITY TO THE TRUSS CHORDS.
2. PROVIDE 1/2" MINIMUM GROUND ANCHORS TO BE PROVIDED TO ALL TRUSS CHORDS TO PROVIDE LATERAL STABILITY TO THE TRUSS CHORDS.
3. PROVIDE 1/2" MINIMUM GROUND ANCHORS TO BE PROVIDED TO ALL TRUSS CHORDS TO PROVIDE LATERAL STABILITY TO THE TRUSS CHORDS.
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9. PROVIDE 1/2" MINIMUM GROUND ANCHORS TO BE PROVIDED TO ALL TRUSS CHORDS TO PROVIDE LATERAL STABILITY TO THE TRUSS CHORDS.
10. PROVIDE 1/2" MINIMUM GROUND ANCHORS TO BE PROVIDED TO ALL TRUSS CHORDS TO PROVIDE LATERAL STABILITY TO THE TRUSS CHORDS.

WALL LEGEND

	1/2" TYPE OF SHEATHING
	1/2" TYPE OF SHEATHING
	1/2" TYPE OF SHEATHING
	1/2" TYPE OF SHEATHING
	1/2" TYPE OF SHEATHING
	1/2" TYPE OF SHEATHING
	1/2" TYPE OF SHEATHING

Project: **A-106**

Sheet: **S106**

Scale: **1/8" = 1'-0"**

Client: **Priskorn Residence**

Address: **14361 Charthouse Circle, Naples, Florida 34114**

A New Home for: Priskorn Residence

Naples Reserve Lot 53
 14361 Charthouse Circle
 Naples, Florida 34114

Florida Lifestyle Homes

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 Fort Myers, Florida 33912
 Ph: 238.481.1414 Fax: 238.481.1414
 info@floralifestylehomes.com
 www.floralifestylehomes.com

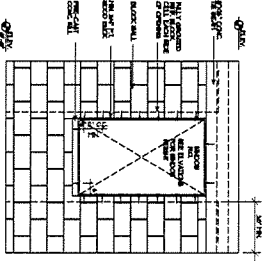
MICHAEL D. STEWART, P.E.

Professional Engineering Services

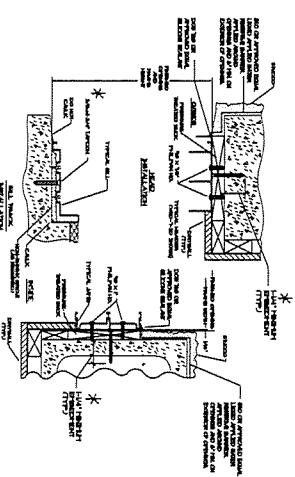
14311 Manopala Avenue Suite 100
 Fort Myers, Florida 33912
 Ph: 238.481.1414 Fax: 238.481.1414
 info@mdstewart.com
 www.mdstewart.com

GENERAL NOTES:

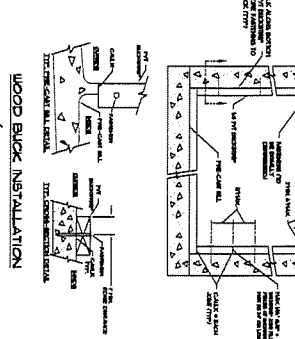
1. INSTALLATION METHODS AND MATERIALS SHALL BE AS SHOWN IN DRAWING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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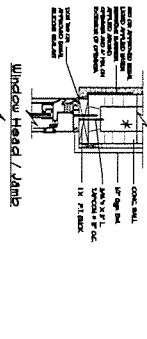
WINDOW BRICK DETAIL



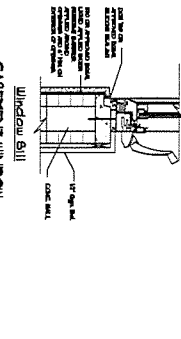
BUILDING GLASS DOOR MASONRY INSTALLATION (600 WOOD INSTALLATION DETAIL)



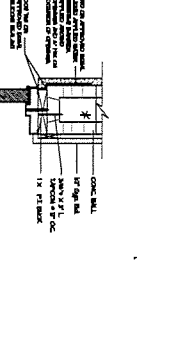
WOOD BUCK INSTALLATION



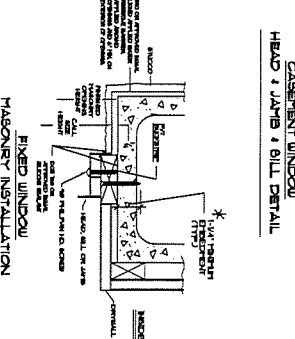
Window Head/Jamb



CASEMENT WINDOW HEAD & SILL DETAIL



Door Head/Jamb



FIXED WINDOW MASONRY INSTALLATION

WINDOW INSTALLATION AND FINISHES NOTES:

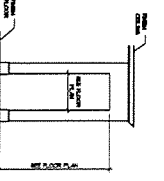
1. WINDOW INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL WINDOW MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
3. ALL WINDOW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WINDOW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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10. ALL WINDOW MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

Window Schedule

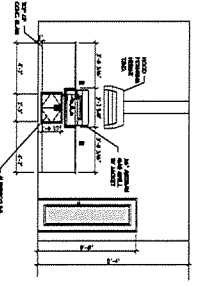
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4	600 WOOD WINDOW	SQ. FT.		
5	600 WOOD WINDOW	SQ. FT.		
6	600 WOOD WINDOW	SQ. FT.		
7	600 WOOD WINDOW	SQ. FT.		
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9	600 WOOD WINDOW	SQ. FT.		
10	600 WOOD WINDOW	SQ. FT.		

Door Schedule

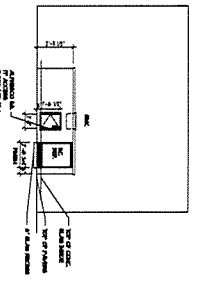
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2	600 WOOD DOOR	SQ. FT.		
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4	600 WOOD DOOR	SQ. FT.		
5	600 WOOD DOOR	SQ. FT.		
6	600 WOOD DOOR	SQ. FT.		
7	600 WOOD DOOR	SQ. FT.		
8	600 WOOD DOOR	SQ. FT.		
9	600 WOOD DOOR	SQ. FT.		
10	600 WOOD DOOR	SQ. FT.		



TYPICAL OPENINGS



GRILL AREA ELEVATION A



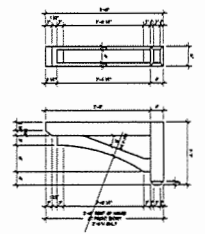
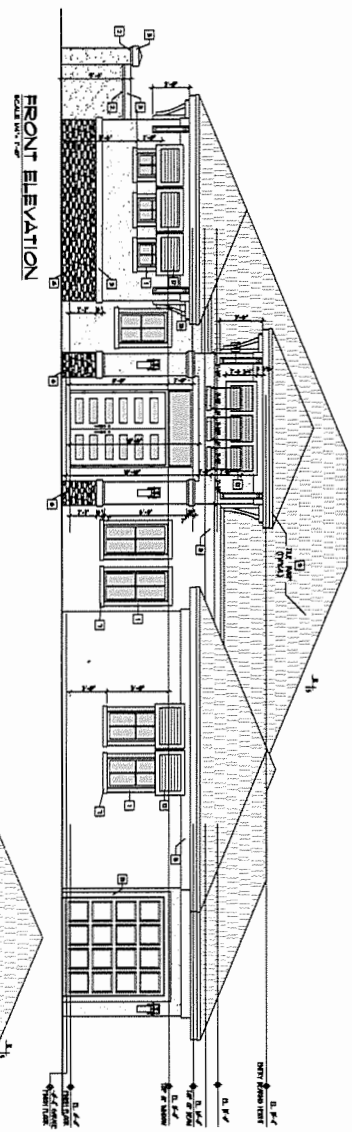
GRILL AREA ELEVATION B

Project: Naples Reserve
 Sheet: A-107
 Date: 1/16/24
 Scale: 1/8" = 1'-0"
 Title: Naples Reserve - Final CA
 Number: 23700A 5/20/24

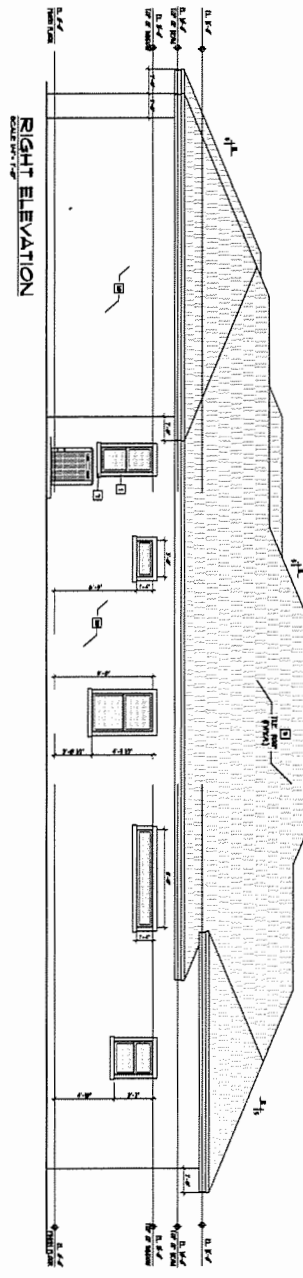
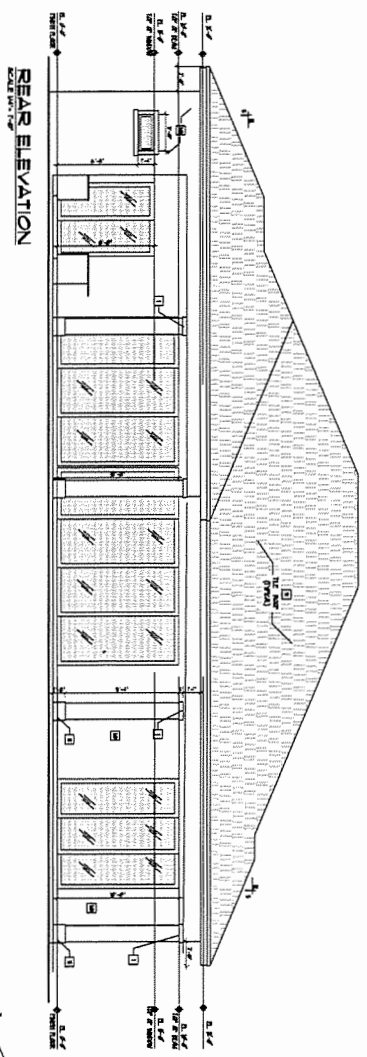
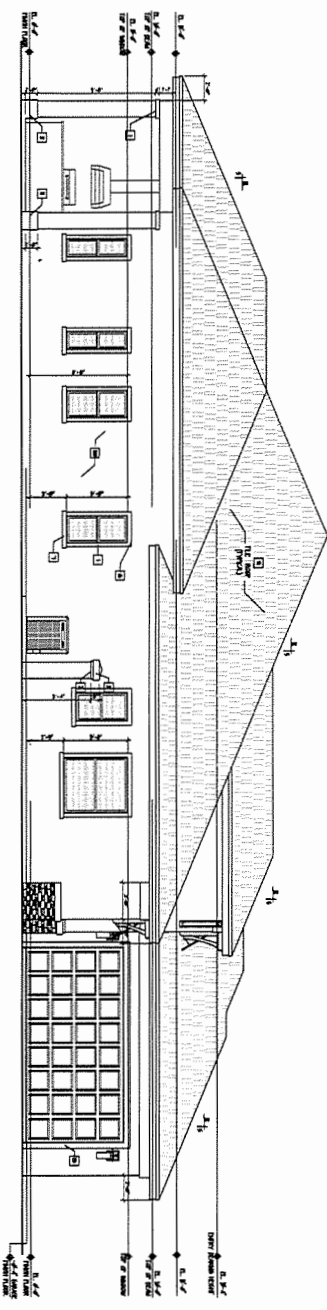
A New Home for:
Priskorn Residence
 Naples Reserve Lot 53
 14361 Chanhouse Circle
 Naples, Florida 34114

Florida Lifestyle Homes
 14311 Metropolis Avenue Suite 101
 Fort Myers, Florida 33922
 Tel: 238-544-5454 Fax: 238-454-9754
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 FORT MYERS, FL 33909
 407-293-2942
 MICHAEL@MDSPE.COM
 MDSPE.COM



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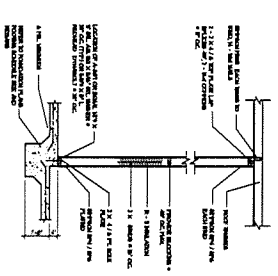
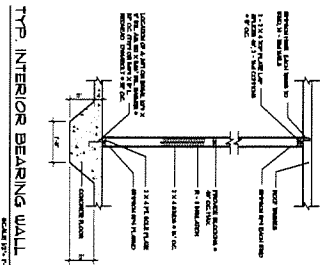
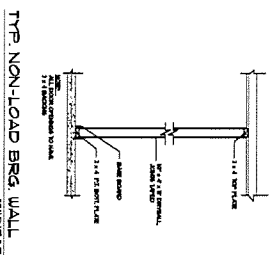
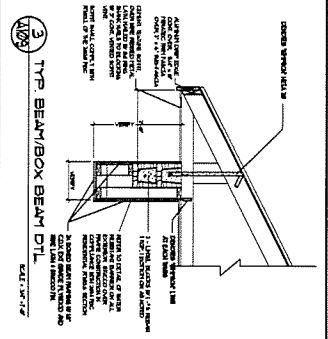
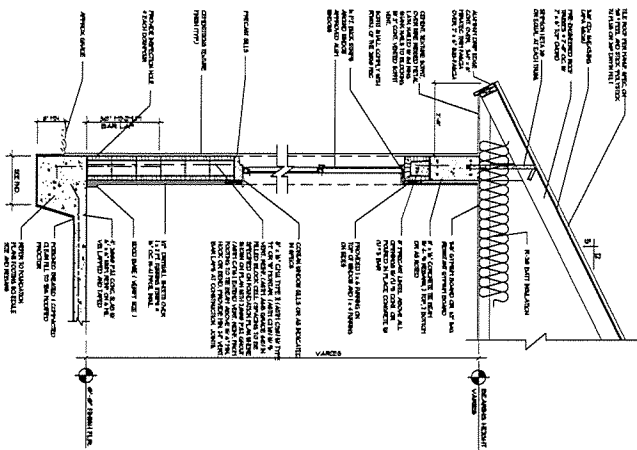
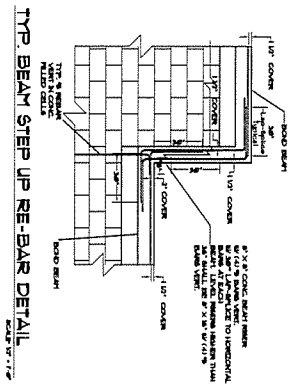


Project No.	1664
Client	Naples Reserve Plant Co.
Address	3387th SW 53rd Blvd
City	Naples, FL 34109
Sheet No.	A-108

A New Home for:
Priskorn Residence
 Naples Reserve Lot 53
 14361 Charthouse Circle
 Naples, Florida 34114

Florida Lifestyle Homes
 14511 Metropolitan Avenue, Suite 101
 Fort Myers, Florida 33912
 Phone: 239-434-9124 Fax: 239-434-9754
 info@floralifestylehomes.com
 www.floralifestylehomes.com

MICHAEL D. STEWART, P.E.
 ARCHITECT
 2225 SW 20th Ct
 Fort Myers, FL 33901
 Phone: 239-294-7972
 Email: mstewart@mdstewart.com
 4242 CEDARWOOD, FORT MYERS, FL 33907
 P.E. #72459



109 TYPICAL WALL SECTION

2 TYPICAL BEARING WALL & GARAGE

3 TYP. BEAM/BOX BEAM DTL

TYP. NON-LOAD BRG. WALL

TYP. INTERIOR BEARING WALL

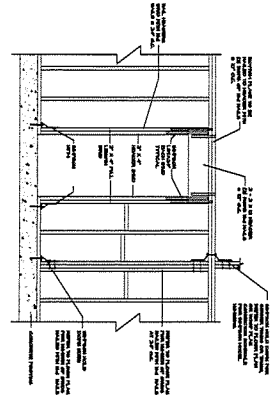
TYPICAL BEARING WALL & GARAGE

Project No.	1664
Sheet	A-109
Scale	1/4" = 1'-0"
Revision	
Drawn by	
Checked by	
Approved by	

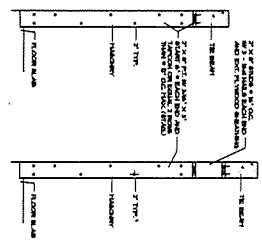
A New Home for:
Priskorn Residence
 Naples Reserve Lot 53
 14361 Charthouse Circle
 Naples, Florida 34114

Florida Lifestyle Homes
 14311 Metropolis Avenue Suite 100
 Fort Myers Beach, Florida 33922
 Ph. 239-464-9154 Fax. 239-464-9154
 www.floridalifestylehomes.com

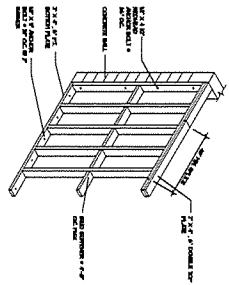
MICHAEL D. STEWART, P.E.
 P.E. 472459
 1001-AE, G. STEWART & ASSOCIATES, INC.
 5305 S.W. 11th St.
 Fort Myers, FL 33907
 239-333-2575
 239-333-2576
 239-333-2577



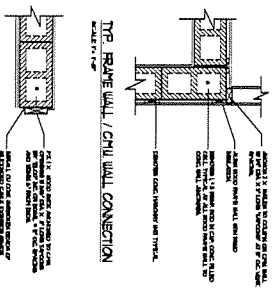
HEADER DETAIL & TRUSS GIRDER CONNECTION



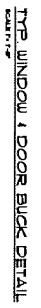
PASS DOOR



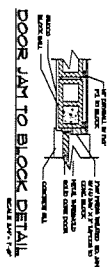
BEARING WALL DETAIL



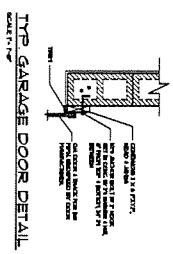
TYP. FRAME WALL / CHIMNEY WALL CONNECTION



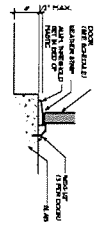
TYP. WINDOW & DOOR BUCK DETAIL



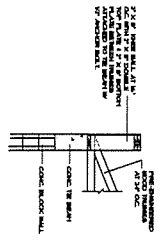
DOOR JAM TO BLOCK DETAIL



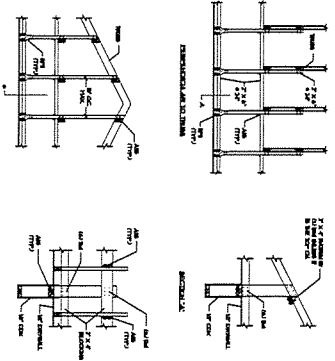
TYP. GARAGE DOOR DETAIL



TYP. EXT. DOOR THRESHOLD DETAIL



FRAME KNEEWALL DETAILS



SLIDING GLASS DOOR DOOR HEADER DTL.

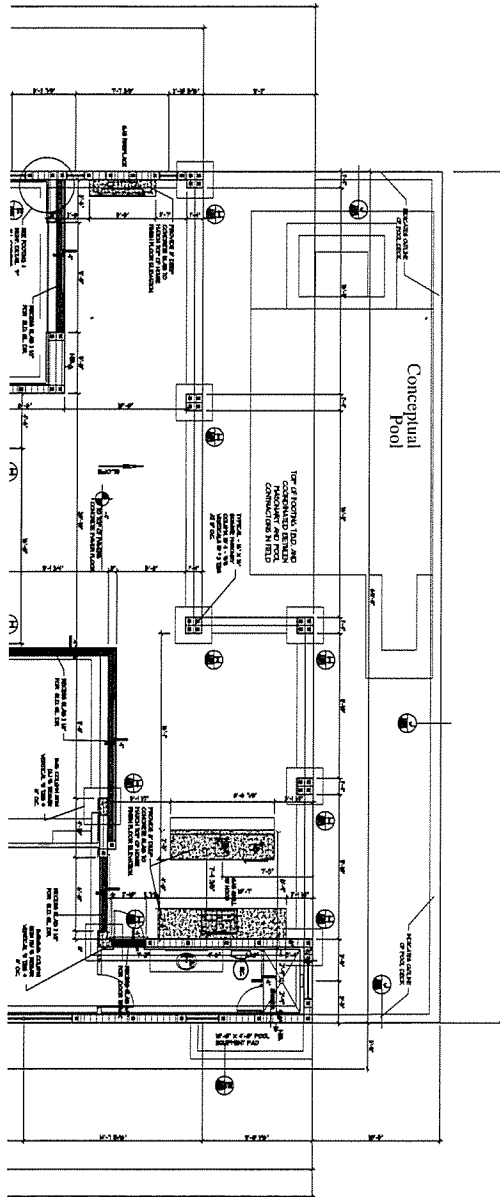
14331 Metropolitan Avenue, Suite 100 Fort Myers, Florida 33912 Ph: 239-444-1414 Fax: 239-444-9784 www.floridastylishomes.com		MICHAEL D. STEWART, P.E. P.E. #7245V
---	--	---

A New Home for:
Priskorn
 Naples Reserve Lot 53
 14361 Charthouse Circle
 Naples, Florida 34114

53 1664 Naples Reserve Phase 1 53X700X5160B1	Sheet A-110
---	-----------------------

MICHAEL D. STEWART, P.E.
 5320 GOLF COURSE BLVD.
 NAPLES, FL 34109
 TEL: 239-444-1414
 FAX: 239-444-9784
 WWW.FLORIDASTYLISHOMES.COM

POOL DECK AREA FLOOR
SCALE 1/4" = 1'-0"



DATE	BY	CHK'D	APP'D
	DRZ		
A-112			
Sheet			
SHEET			

A New Home for:
Priskorn Residence
 Naples Reserve Lot 53
 14361 Charthouse Circle
 Naples, Florida 34114

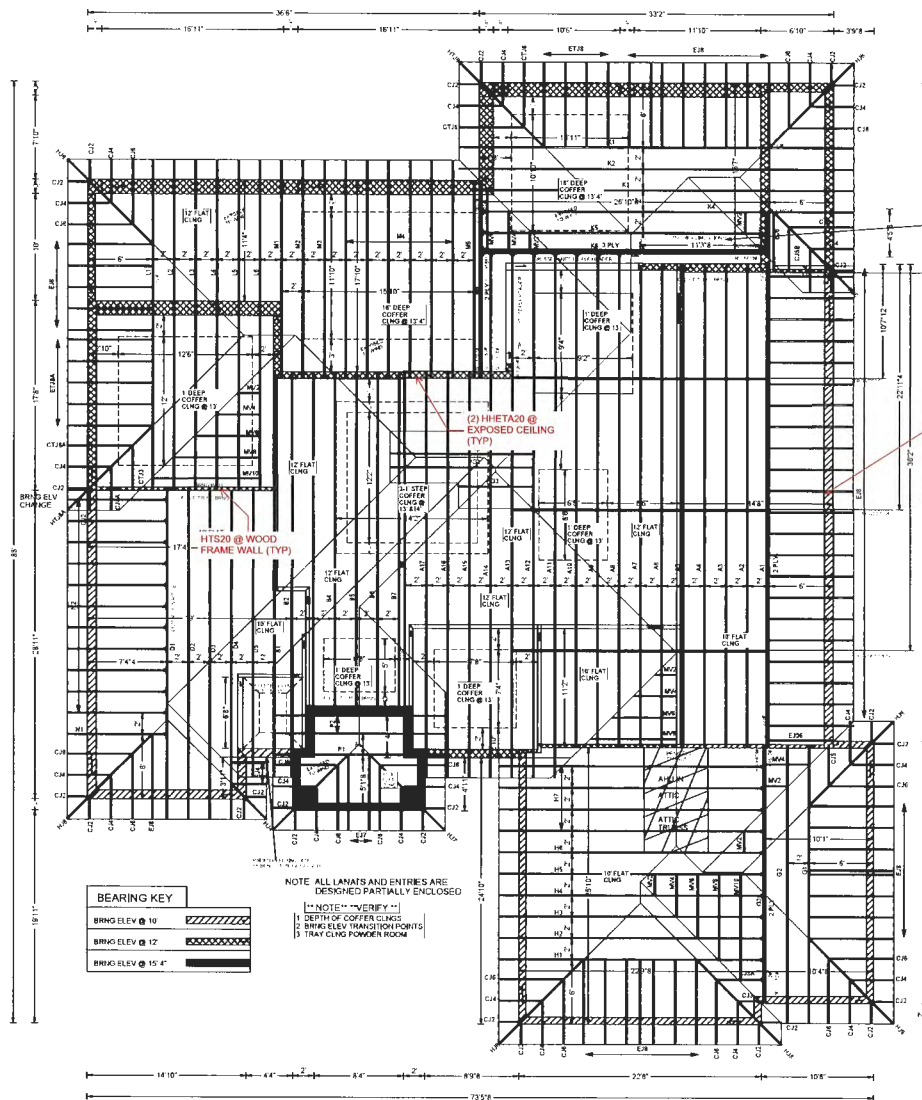
Florida Lifestyle Homes

14311 Metropoulos Avenue, Suite 101
 Fort Myers, Florida 33912
 Ph. 239-462-9134 Fax 239-462-9134
 info@floridalifestylehomes.com
 www.floridalifestylehomes.com

MICHAEL D. STEWART, P.E.
 P.E. #72459

14311 Metropoulos Avenue, Suite 101
 Fort Myers, Florida 33912
 Ph. 239-462-9134 Fax 239-462-9134
 info@floridalifestylehomes.com
 www.floridalifestylehomes.com

PROFESSIONAL ENGINEER NO. 61497015

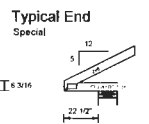


BEARING KEY

BRNG ELEV @ 10'	
BRNG ELEV @ 12'	
BRNG ELEV @ 15.4'	

NOTE ALL LANAI'S AND ENTRIES ARE DESIGNED PARTIALLY ENCLOSED

NOTE "VERIFY"
 1 DEPTH OF COFFER CLINGS
 2 BRNG ELEV. HANGING POINTS
 3 TRAY CLING POWDER ROOM



Dimensions Over 2000 Lbs and 1/8th Over 1000 Lbs are Listed on the Layout

Hanger Key

(H)HUS24	(H)HUS26.5	(H)HUS28
(H)HUS30	(H)HUS32	(H)HUS34
(H)HUS36	(H)HUS38	(H)HUS40
(H)HUS42	(H)HUS44	(H)HUS46
(H)HUS48	(H)HUS50	(H)HUS52
(H)HUS54	(H)HUS56	(H)HUS58
(H)HUS60	(H)HUS62	(H)HUS64
(H)HUS66	(H)HUS68	(H)HUS70
(H)HUS72	(H)HUS74	(H)HUS76
(H)HUS78	(H)HUS80	(H)HUS82
(H)HUS84	(H)HUS86	(H)HUS88
(H)HUS90	(H)HUS92	(H)HUS94
(H)HUS96	(H)HUS98	(H)HUS100

Types: (H) = Hanger Symbol Denotes
 Types: (H) = Truss Connections
 ** All Hangers are HUS25
 Unless Otherwise Noted.

IBC 2020 7TH EDITION/ TPI 2014
MEMBRANE AND COMPONENTS CLADDING

Wind Load Type: ASCE 7-16
 Building Type: Enclosed
 Building Exposure: Cat II Residential 1.0
 Basic Wind Speed with 100 Year Recurrence Interval and 30 PSF: 140 mph
 Design Wind Speed with 30 PSF: 170 mph
 Design Wind Speed with 50 PSF: 170 mph

GRAVITY	TC DL	30 PSF	WIND	TC CL	5 PSF
TC DL	30 PSF	BC DL	10 PSF	BC CL	5 PSF
TC DL	30 PSF	TC DL	10 PSF	TC CL	5 PSF
TC DL	30 PSF	TC DL	10 PSF	TC CL	5 PSF
TOTAL	50 PSF	TOTAL	50 PSF	TOTAL	10 PSF

DURATION = 1.25 WIND = 170 mph

MICHAEL D. STEWART, PE
 5330 SW 15TH CT
 CAPE CORAL, FL 33914
 239-292-7670

REVIEWED
 REVIEWED AS NOTED
 REVISE AND RESUBMIT
 REJECTED
 FOR INFORMATION ONLY

COORDINATION REQUIRED BETWEEN ALL TRADES PRIOR TO ORDERING EQUIPMENT. THIS PRODUCT SUBMITTAL IS TO ENSURE GENERAL COMPLIANCE ONLY AND DOES NOT RELIEVE THE CONTRACTOR OF COMPLIANCE WITH THE ORIGINAL CONSTRUCTION DOCUMENT SPECIFICATIONS, DRAWINGS, OR AGREEMENTS BETWEEN OWNER AND GENERAL CONTRACTOR. QUANTITIES HAVE NOT BEEN REVIEWED AS PART OF THIS SUBMITTAL. PLEASE NOTE COMMENTS BELOW OR AS MARKED WITHIN THIS SUBMITTAL.

BY MDS DATE 8/16/2021

Spacing: 24" O.C. Unless Otherwise Noted.

Your Signature Will Acknowledge:
 1. Installation per FABRIC-0304.
 2. Verification of ALL Dimensions, Conditions, and Materials per CONTRACT DOCUMENTS.
 3. Acceptance with 100-Pound and 50-Pound Test Weights as per CONTRACT DOCUMENTS.
 4. Protection of Access per THE BULKHEADS.
 5. ALL personnel and temporary loading in CONTRACTOR'S possession.
 6. Any failure to follow any of the above conditions will void the CONTRACTOR'S warranty.
 7. No work changes or items changed after the CONTRACTOR'S installation without the CONTRACTOR'S written approval.
 8. The CONTRACTOR'S liability for any damage to the building or its contents shall be limited to the amount of the CONTRACTOR'S bond.
 9. The CONTRACTOR'S liability for any damage to the building or its contents shall be limited to the amount of the CONTRACTOR'S bond.

Signed: _____
 Date: _____

#	Date	Revisions	By

RAYMOND
 BUILDING SUPPLY CORP

North Fort Myers
 7710 Broadway Rd
 North Fort Myers, FL 33917
 813-291-2100
 813-291-2100

North Fort
 7410th Ave SW
 Naples, FL 34109
 813-291-2100


Job Information

RMS#: 210536596
 Builder: FLORIDA LIFESTYLE HOMES
 Owner: Priskorn Residence
 County: COLLIER
 City: Naples
 Address: 14381 Charthouse Circle
 Lot:
 Block:
 Sub:
 Model:

Roof Covering: TILE-SHINGLE
 Scale: 3/16" = 1'-0"
 Date: August 2, 2021
 Drawn By: Pat Moss

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9D

From: Naples Reserve DRC naplesreservedrc@gmail.com 
Subject: 14361 Charthouse Circle Lot 53 Pool Application Approval
Date: June 23, 2022 at 10:30 PM
To: Rhonda Severance Rhonda@flhfl.com
Cc: Claudia Woods claudia.e.woods@gmail.com, Donald Skenderian donskins@gmail.com



Hello Rhonda,
The Naples Reserve Design Review Committee has reviewed the pool project for Lot 53 at 14361 Charthouse Circle and has approved the project. Please submit the pool and screen enclosure permits to us when it has been issued. Also please provide the landscaping plan for this project.
Thank you,
Lisa Wild
Naples Reserve Design Review Committee Co Chairperson



Date: 6.23.22
To: Florida Lifestyle Homes
Address: 14361 Charthouse Circle
Project: Pool and Enclosure

Your Design review application has been APPROVED.

Please be mindful while your project is in progress, your neighbor's lot(s) should not be used as areas to station equipment or to pile supplies for your project. In the event your neighbor sustains damage from your project on their lot, you are responsible to resolve this issue directly with your neighbor and your vendor.

Once your project is completed, please notify the DRC by email at: naplesreservedrc@gmail.com.

If your approved project should be modified in any way from the original approved application, you must submit a revised plan before your project is inspected. We understand that projects don't always go as planned and we request notification of that change to avoid compliance issues.

The Design Review Committee will schedule a date and time to come out and inspect the common areas and the project within 30 days of the HOA offices receiving your email. Residents must send an email. Voicemail or in person visits informing the HOA offices of a completed project will not be accepted.

You DO NOT need to be home for the inspection. The inspection is to ensure the project is completed, completed within the scope of work approved in your application, and to also ensure the common areas, sidewalks, turf, and other HOA common easement areas did not sustain any damage.

Once the inspection is completed by the Design Review Committee, the HOA offices will notify you via email of the completed inspection and begin the refund process of your security deposit. Please allow 30 days to receive your refund check, which will arrive via postal service. The refund check will be sent to the address on your application unless otherwise specified.

Thank you,
Naples Reserve Design Review Committee


**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9E

Florida Lifestyle
14361 Chawthase Cir
Prishorn Res.

Propane Gas Plans

All American Gas & Plumbing



 MICHAEL D. STURM, P.E.

 License No. 12000

 State of Florida

 14361 Charthouse Circle

 Naples, Florida 34114

Priskorn Residence

 Naples Reserve Lot 53

 14361 Charthouse Circle

 Naples, Florida 34114

A New Home for:

 Priskorn Residence

 Naples Reserve Lot 53

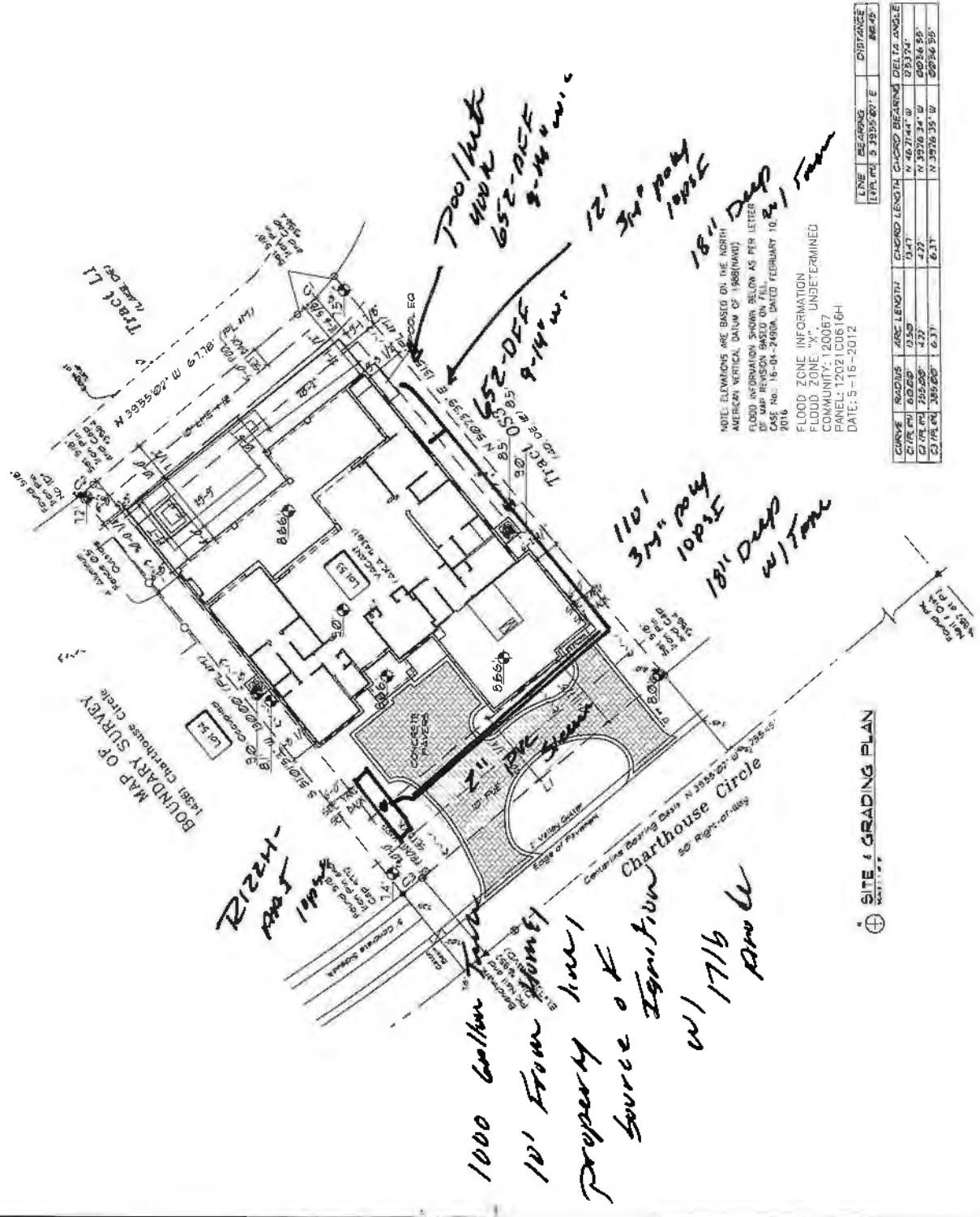
 14361 Charthouse Circle

 Naples, Florida 34114

DATE	5-15-2012
BY	MDS
CHECKED BY	
SCALE	

Sheet

A-101



NOTE: ELEVATIONS ARE BASED ON THE NORTH

 AMERICAN VERTICAL DATUM OF 1988(MAVD)

 FLOOD INFORMATION SHOWN BELOW AS PER LETTER

 FROM THE FEDERAL EMERGENCY MANAGEMENT

 AGENCY (FEMA) DATED FEBRUARY 10,

 2016

 CASE NO. 16-04-2408A

FLOOD ZONE INFORMATION

 FLOOD ZONE "X" UNDETERMINED

 COUNTY: T20087

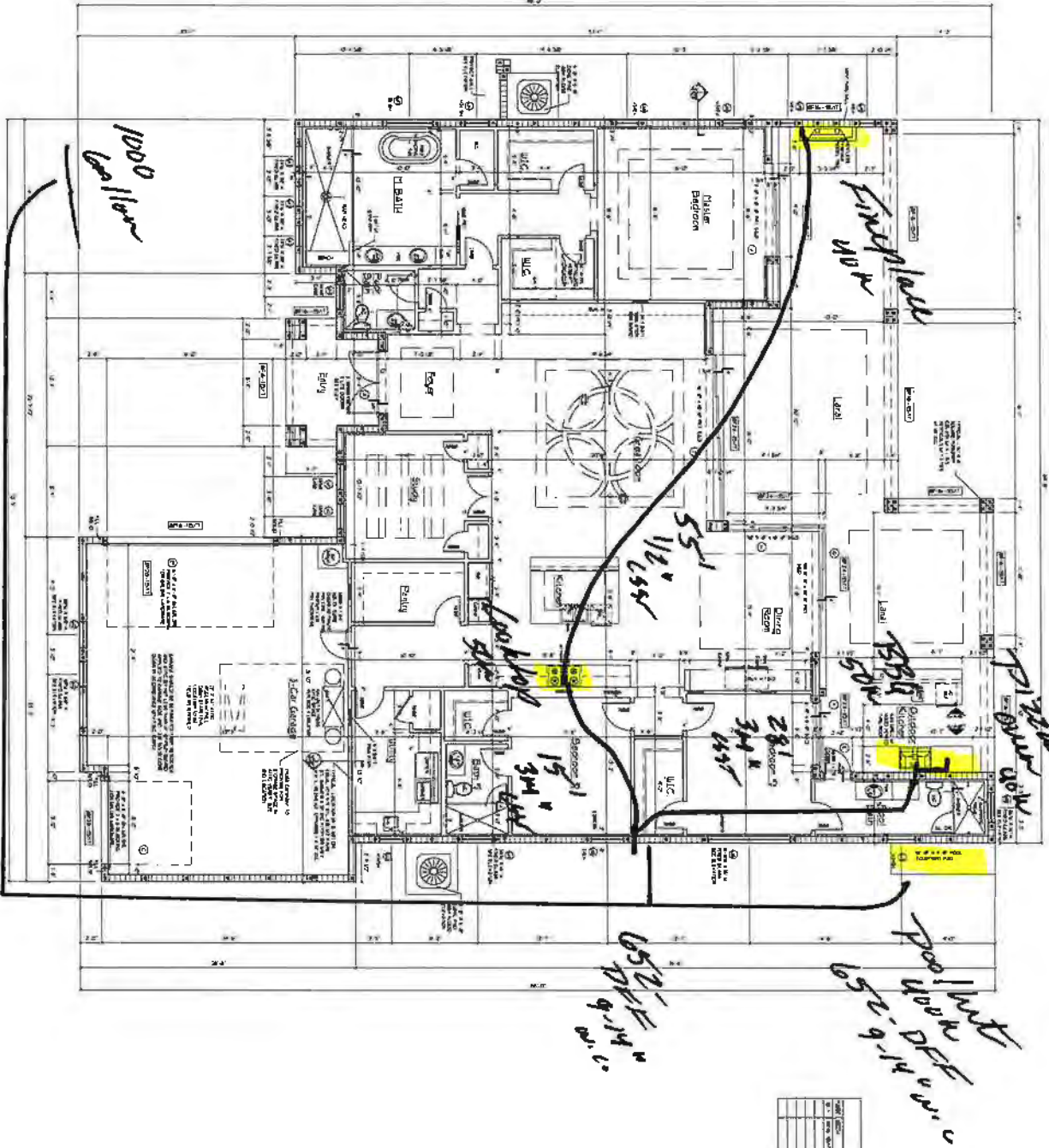
 PANEL: T2021C106164

 DATE: 5-15-2012

LINE	BEARING	DISTANCE	CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
1	N 48° 27' 44" W	9.47		0.0000	0.0000	0.0000		0° 00' 00"
2	N 39° 26' 34" W	4.22		0.0000	0.0000	0.0000		0° 00' 00"
3	N 39° 26' 35" W	6.31		0.0000	0.0000	0.0000		0° 00' 00"

SITE & GRADING PLAN

FLOOR PLAN



GENERAL NOTES:
 1. ALL FINISHES UNLESS SHOWN OTHERWISE.
 2. SEE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND FINISHES.
 3. SEE ARCHITECT'S SPECIFICATIONS FOR MECHANICAL, ELECTRICAL AND PLUMBING.
 4. SEE ARCHITECT'S SPECIFICATIONS FOR PAINTS AND COATINGS.
 5. SEE ARCHITECT'S SPECIFICATIONS FOR FLOORING.
 6. SEE ARCHITECT'S SPECIFICATIONS FOR CEILING.
 7. SEE ARCHITECT'S SPECIFICATIONS FOR WALLS AND PARTITIONS.
 8. SEE ARCHITECT'S SPECIFICATIONS FOR DOORS AND WINDOWS.
 9. SEE ARCHITECT'S SPECIFICATIONS FOR STAIRS.
 10. SEE ARCHITECT'S SPECIFICATIONS FOR RAILINGS.
 11. SEE ARCHITECT'S SPECIFICATIONS FOR LIGHTING.
 12. SEE ARCHITECT'S SPECIFICATIONS FOR FURNITURE.
 13. SEE ARCHITECT'S SPECIFICATIONS FOR APPLIANCES.
 14. SEE ARCHITECT'S SPECIFICATIONS FOR FIXTURES.
 15. SEE ARCHITECT'S SPECIFICATIONS FOR EQUIPMENT.
 16. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSORIES.
 17. SEE ARCHITECT'S SPECIFICATIONS FOR OTHER FINISHES.
 18. SEE ARCHITECT'S SPECIFICATIONS FOR OTHER EQUIPMENT.
 19. SEE ARCHITECT'S SPECIFICATIONS FOR OTHER ACCESSORIES.
 20. SEE ARCHITECT'S SPECIFICATIONS FOR OTHER FINISHES.

PRECEDENCE LISTING

1	FOUNDATION
2	FLOORING
3	CEILING
4	WALLS
5	DOORS
6	WINDOWS
7	STAIRS
8	RAILINGS
9	LIGHTING
10	FURNITURE
11	APPLIANCES
12	FIXTURES
13	EQUIPMENT
14	ACCESSORIES
15	FINISHES

WALL LEGEND

1	STUCCO
2	BRICK
3	CONCRETE
4	GLASS
5	WOOD
6	PAINT
7	OTHER

Sheet	A-104
Scale	1/8" = 1'-0"
Date	10/10/01
Drawn by	38700 59880
Checked by	
Approved by	

A New Home for:
Priskorn Residence
 Naples Reserve Lot 53
 14361 Chautauque Circle
 Naples, Florida 34114



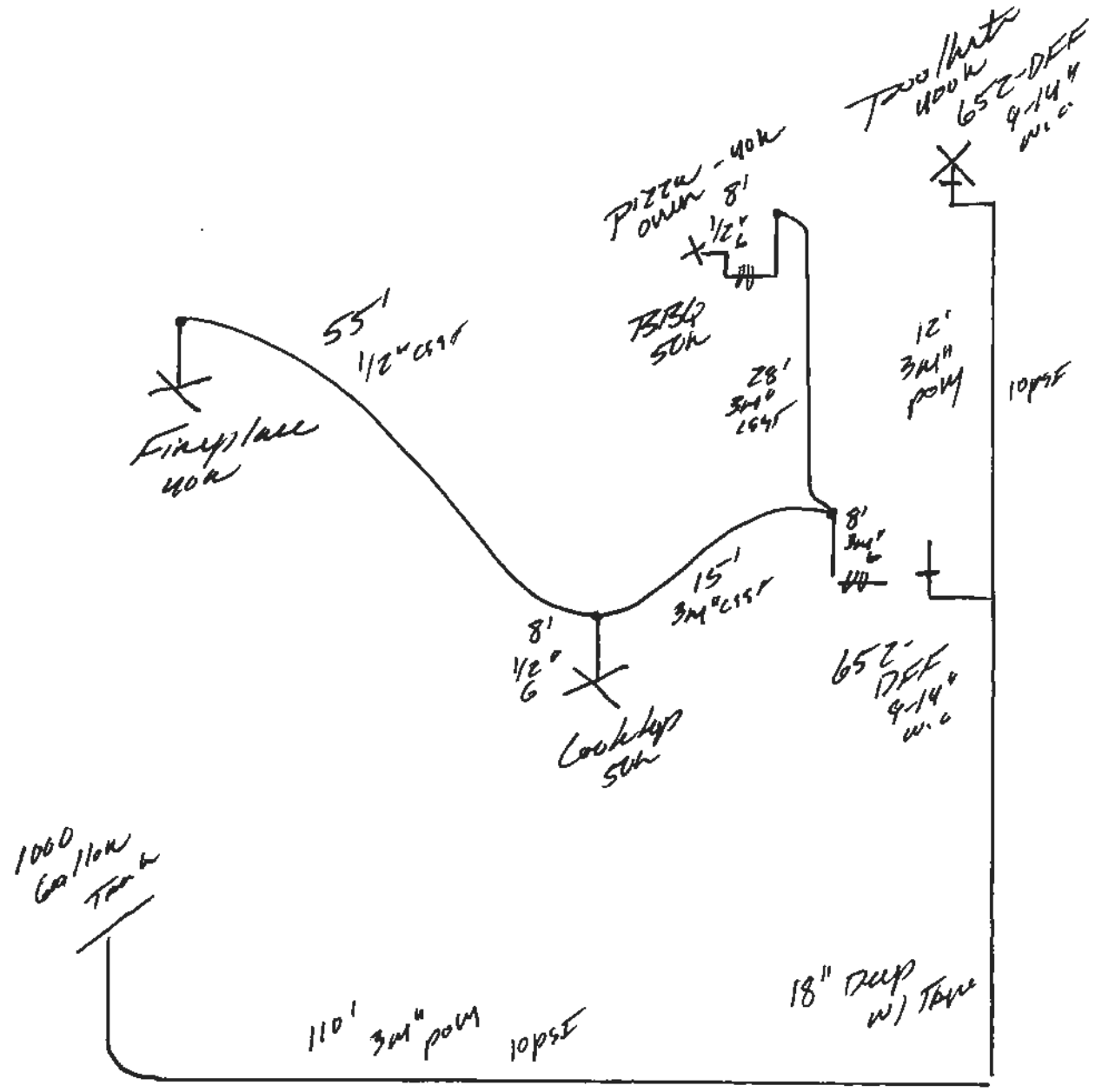
14331 Microworld Avenue, Suite 101
 Fort Myers, Florida 34114
 Ph: 239-434-5114 Fax: 239-454-0554
 www.floridalifestylehomes.com

MICHAEL D. STEWART, P.E.
 P.E. #72439

All American Gas & Plumbing Inc.

6320 ARC WAY
FORT MYERS, FL 33912
(239) 481 - 5500 ~ (239) 481 - 5300
LPG 31625 CFC044163

OWNER: Florida Lifestyle
NAME: Priskorn Res
ADDRESS: 19361 Chert House
Ln
PHONE: _____
STRAP: _____
BLOCK: _____ LOT#: 53
FOLIO #: _____
OUTLETS: 5 BTU'S: 580k
REGS: 1ST PIZZA - AHS - 10PSE
2ND 652 - DFF - 9-14" w.c.
TANK SIZE: 1000 Gallon
SECURED BY: Cable + Anchor
FOUNDATION: Underground
PIPING: 1ST 3/4" - Poly
2ND 3/4" 1/2" Galv, CSST
CONTACT: Tyson Brown
PHONE: 239-481-5500



11 X 18 BOXES

FOR WATER & POWER INSTALLATIONS

- **STRONG** - 4 to 5 times the strength of concrete
- **LIGHTWEIGHT** - Quick easy installation for **LOWEST INSTALLED COST**
- **NON-CONDUCTIVE** - and unaffected by UV light, moisture, freezing and sub soil chemicals
- **NESTABLE** - for easy storage, transportation and freight savings (for flared wall boxes only)
- **STAINLESS STEEL HARDWARE** - Non-corrosive
- **NO EXTRA CHARGE** - for standard cover logos
- **CAST IRON** - Water meter reading lid available
- **BRASS HINGE** - full width of cover for corrosion resistance and long life, for cast iron reader lid applications

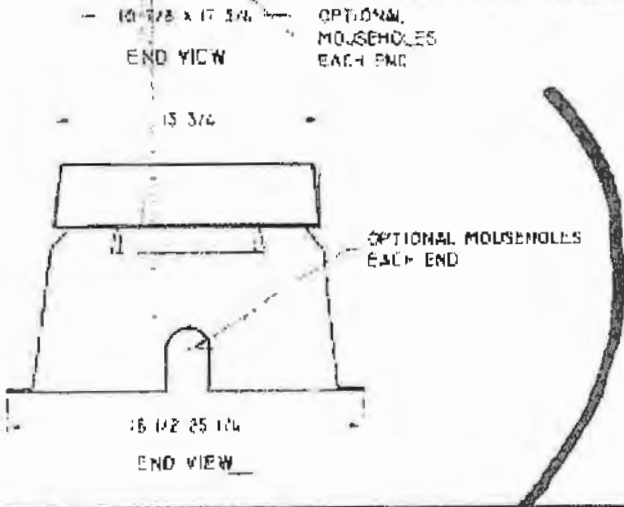
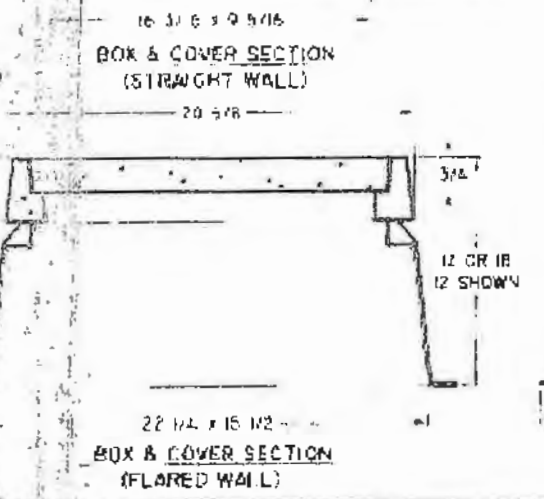
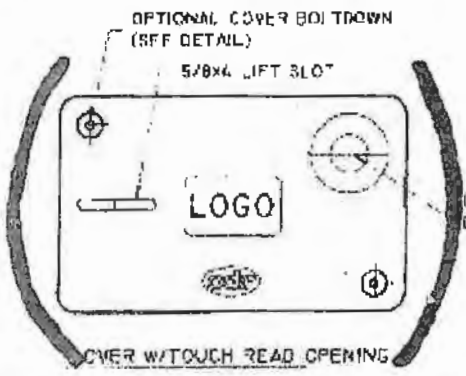
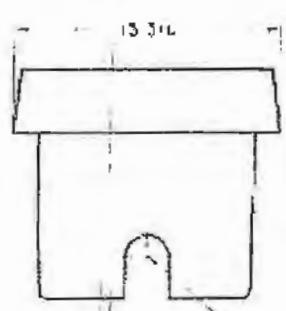
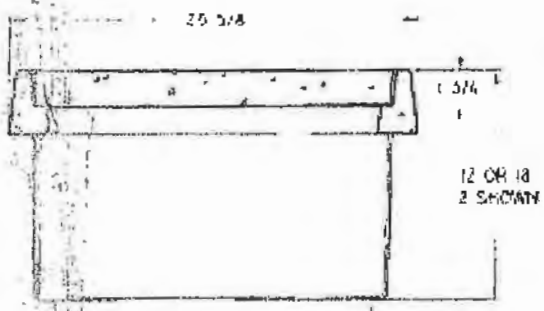
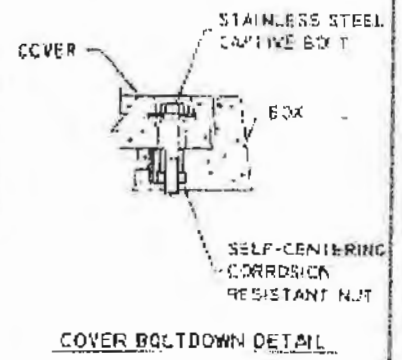
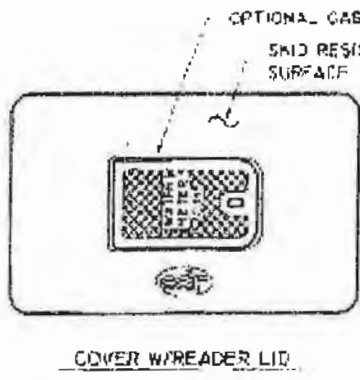
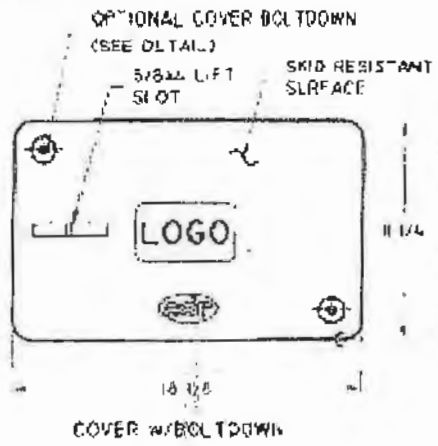
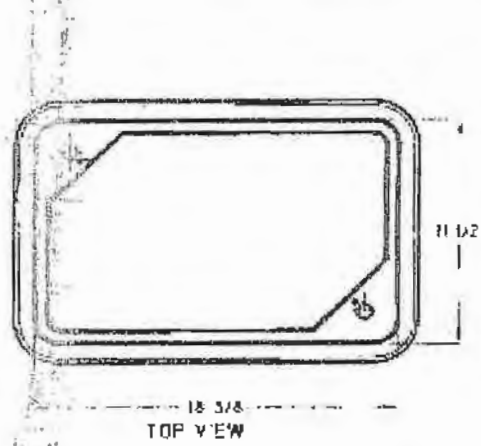
Assemblies

Box and Cover	COVER		LIGHT TRAFFIC		HEAVY DUTY	
	NOT BOLTED	BOLTED	Part No.	WT.	Part No.	WT.
12" deep (straight wall)	•	•	_A03-1118-12 44		_A04-1118-12 46	
			_A13-1118-12 44		_A14-1118-12 46	
12" deep (flared wall)	•	•	_A00-1118-12 46		_A02-1118-12 48	
			_A10-1118-12 46		_A12-1118-12 48	
18" deep (straight wall)	•	•	_A03-1118-18 55		_A04-1118-18 58	
			_A13-1118-18 55		_A14-1118-18 58	
18" deep (flared wall)	•	•	_A00-1118-18 57		_A02-1118-18 60	
			_A10-1118-18 57		_A12-1118-18 60	

Components

	LIGHT TRAFFIC				HEAVY DUTY			
	NOT BOLT DOWN		BOLT DOWN		NOT BOLT DOWN		BOLT DOWN	
	Part No.	WT.	Part No.	WT.	Part No.	WT.	Part No.	WT.
12" deep (straight wall)	_B03-1118-12 25		_B13-1118-12 25		_B04-1118-12 28		_B14-1118-12 28	
12" deep (flared wall)	_B00-1118-12 25		_B10-1118-12 25		_B02-1118-12 28		_B12-1118-12 28	
18" deep (straight wall)	_B03-1118-18 25		_B13-1118-18 25		_B04-1118-18 28		_B14-1118-18 28	
18" deep (flared wall)	_B00-1118-18 25		_B10-1118-18 25		_B02-1118-18 28		_B12-1118-18 28	
Cover 1-3/4" thick w/ 4 x 6 CI reader door	_C00-1118-2C 21		_C10-1118-2C 21		_C02-1118-2C 23		_C12-1118-2C 23	
Cover 1- 3/4" thick	_C00-1118-02 21		_C10-1118-02 21		_C02-1118-02 23		_C12-1118-02 23	

Handwritten signature



- + MATERIAL: FIBERGLASS REINFORCED POLYMER CONCRETE & FIBERGLASS REINFORCED POLYMER
- + STANDARD COLOR: CONCRETE GRAY
- + OPTIONAL COLORS AVAILABLE FOR COVER & BOX COLLAR
- + FLARED WALL BOXES ARE NESTABLE
- + STRAIGHT WALL BOXES ARE STACKABLE

11 x 18 SERIES BOX & COVER			
DRAWN	MMK	DATE	12/24/01
CHECKED		A	181-0059
APPROVED			

LOAD SPECIFICATION TABLE

LOAD DESIGNATION	DESCRIPTION	DESIGN LOADS			TESTING		SELECT CDR PRODUCT RATING
		LIVE LB/WHEEL (2)	LIVE + IMPACT LB/WHEEL	SIDE PSF (3)	LOAD, LBS	SAFETY FACTOR	
C857 A-0.3	PEDESTRIAN	(300 PSF)	—————	30	(650 PSF) (4)	2.17	LIGHT TRAFFIC
WUC 3.6	INCIDENTAL TRAFFIC	—————	—————	600	10,400	—————	
C857 A-8	LIGHT TRUCKS	8,000	10,400	30/40	17,360 (4)	2.17	
20K	LIGHT TRUCKS	8,000	10,400	30/40	20,000 (4)	2.50	20K
AASHTO H10	LIGHT TRUCK TRAFFIC	8,000	10,400	N/A	22,568 (4)	2.82	HEAVY DUTY
C857 A-12	MEDIUM TRUCKS	12,000	15,600	30/60	26,040 (4)	2.17	
AASHTO H15	MEDIUM TRUCK TRAFFIC	12,000	15,600	N/A	27,000 (5)	2.25	
C857 A-16	HEAVY TRUCKS	16,000	20,800	30/80	27,000 (5)	1.69	
AASHTO H20	HEAVY TRUCK TRAFFIC	16,000	20,800	N/A	45,136 (4)	2.82	

FOOTNOTES

1. LOAD DESIGNATIONS ARE FROM ASTM C857 "MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES", "STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES", "AASHTO, 13TH ED., AND "NON-CONCRETE ENCLOSURES," WESTERN UNDERGROUND COMMITTEE GUIDE 3.6, MAY 1988.
2. WHEEL FOOTPRINTS ARE GIVEN IN ASTM C857 & THE AASHTO STANDARDS.
3. SIDE LOADS ARE SHOWN AS (HYDROSTATIC PRESSURE FROM SOIL) / (SURCHARGE FROM VEHICLE). SEE ASTM C857 FOR METHOD TO CALCULATE TOTAL LOAD. CDR USES A MINIMUM SAFETY FACTOR OF 3.0 FOR SIDE LOAD TESTS.
4. TEST LOAD CALCULATED ACCORDING TO AASHTO TEST METHOD T33 AND ASTM C497.
5. TEST LOAD IS MINIMUM APPLIED TO CDR HEAVY DUTY PRODUCTS TO DATE. CONSULT FACTORY IF HIGHER TEST LOADS OR SAFETY FACTORS ARE REQUIRED FOR A PARTICULAR PRODUCT.
6. CONSULT FACTORY FOR AVAILABLE SIZES.

cdr CDR SYSTEMS GROUP 146 SOUTH ATLANTIC AVE., ORMOND BEACH, FL. 32176			
TITLE LOAD SPECIFICATION TABLE			
DRAWN	MMK	DATE	1/5/05
CHECKED		A SIZE	951-0001
APPROVED	AOK		

Table P-1B Propane

		Maximum Capacity of TracPipe® CounterStrike® CSST in Thousands of BTU per House Propane Gas																														
		Min. Gas Pressure: 12-14 in w.c.																														
		Pressure Drop: 2.0 in w.c.																														
		(Based on a 1.52 Specific Gravity / 2520 BTU per cubic foot Gas)																														
Size	EHD	Tubing Length (feet)																														
		5	10	15	20	25	30	40	50	60	70	75	80	90	100	125	150	200	250	300	400	500	600	700	800	900	1000	1100	1200	1300	1400	1500
3/8"	15	190	138	114	100	89	82	71	65	59	55	54	52	49	46	41	38	33	30	27	24	22	19	17	17	16	16	14	14	13	13	13
1/2"	19	427	308	252	218	196	179	157	139	128	119	116	111	104	100	90	82	71	63	59	51	46	41	38	35	35	32	30	30	28	27	27
3/4"	25	1069	763	625	545	488	446	388	348	318	294	285	277	261	249	222	204	177	158	146	127	112	103	95	90	84	81	76	73	71	68	66
1"	31	1840	1309	1073	933	836	765	663	595	543	503	489	472	445	423	380	347	301	269	247	214	192	176	163	152	144	139	130	125	120	116	111
1 1/4"	37	3469	2467	2022	1756	1574	1438	1249	1119	1023	948	917	888	838	796	712	652	567	507	464	402	361	329	306	287	271	256	245	234	225	217	211
1 1/2"	46	5711	4023	3277	2834	2532	2306	1997	1783	1626	1504	1452	1406	1325	1256	1123	1023	885	790	720	622	556	507	469	439	413	391	374	358	344	331	318
2"	62	13073	9259	7568	6558	5869	5361	4645	4158	3797	3516	3398	3290	3103	2945	2635	2407	2085	1867	1704	1477	1322	1206	1118	1047	986	936	893	855	822	792	765

Notes: EHD (Equivalent Hydraulic Diameter) A theoretical size which reflects the hydraulic performance of the tubing. It is not a true physical measure. This number is used to compare individual sizes between different manufactures. The higher the EHD number the greater the flow capacity of the piping.

69

Table P-2 Propane Medium Pressure

		Maximum Capacity of TracPipe CounterStrike CSST in Thousands of BTU per House Propane Gas																														
		Min. Gas Pressure: 13-14 in w.c.																														
		Pressure Drop: 2.5 in w.c.																														
		(Based on a 1.52 Specific Gravity / 2520 BTU per cubic foot Gas)																														
Size	EHD	Tubing Length (feet)																														
		5	10	15	20	25	30	40	50	60	70	75	80	90	100	125	150	200	250	300	400	500	600	700	800	900	1000	1100	1200	1300	1400	1500
3/8"	15	222	159	131	114	102	93	81	73	67	62	60	58	55	52	46	43	36	33	30	27	24	22	21	19	17	17	16	16	14	14	14
1/2"	19	491	353	290	254	228	209	182	164	150	140	135	131	124	118	108	97	85	76	70	67	61	46	43	40	38	36	35	33	32	30	30
3/4"	25	1192	850	698	606	545	497	432	388	355	329	318	309	291	277	249	226	198	177	161	141	127	116	106	100	95	90	85	82	79	76	73
1"	31	2512	1863	1720	1343	1106	976	863	825	771	719	696	673	632	596	533	470	398	352	320	239	214	196	182	169	160	152	146	139	133	128	125
1 1/4"	37	3870	2753	2256	1959	1756	1605	1393	1249	1142	1058	1023	991	936	888	796	728	632	567	518	450	402	367	340	320	301	287	272	261	252	242	234
1 1/2"	46	6393	4503	3688	3173	2834	2584	2234	1997	1821	1685	1626	1574	1484	1406	1256	1145	990	895	806	697	622	568	526	491	462	439	418	401	365	370	358
2"	62	14609	10347	8456	7329	6558	5990	5192	4645	4243	3930	3797	3676	3467	3290	2945	2688	2331	2085	1905	1650	1477	1349	1249	1168	1102	1047	997	955	918	885	855

*Notes: Tables above include losses for four 90-degree bends and two end fittings. Tubing runs with larger numbers of bends and/or fittings shall be increased by the equivalent length of tubing to the following equation: L=1.3n where L is the additional length of tubing and n is the number of additional fittings and/or bends.

Table 15.1(o) Polyethylene Plastic Pipe Sizing Between First-Stage and Second-Stage Regulators: Nominal Outside Diameter (IPS)

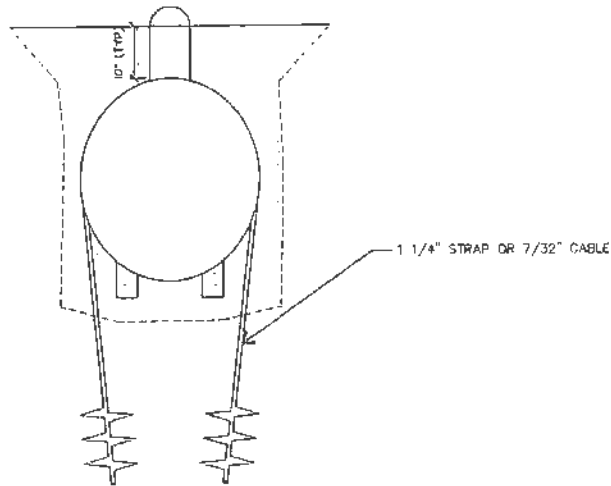
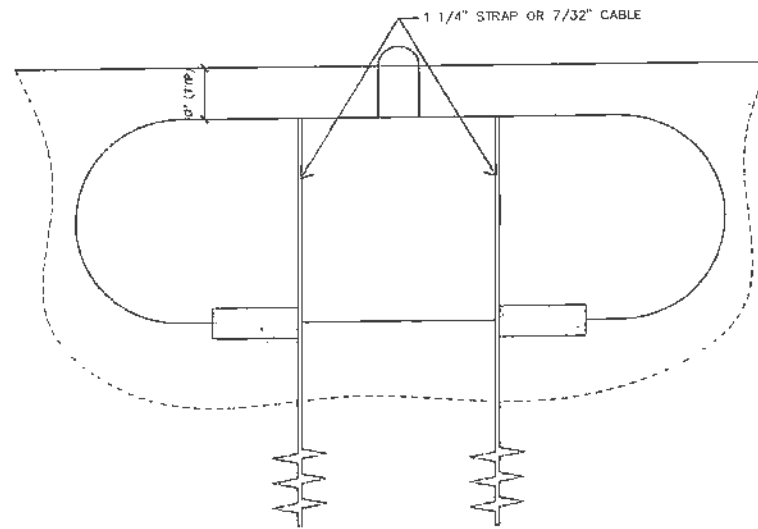
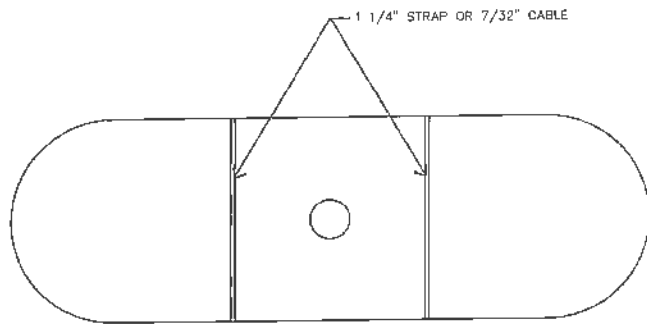
		Gas: Undiluted Propane				
		Inlet Pressure: 10.0 psi				
		Pressure Drop: 1.0 psi				
		Specific Gravity: 1.52				
Plastic Pipe Length (ft)	½ in. SDR 9.33 (0.660)	¾ in. SDR 11.0 (0.860)	1 in. SDR 11.00 (1.077)	1¼ in. SDR 10.00 (1.328)	1½ in. SDR 11.00 (1.554)	2 in. SDR 11.00 (1.943)
30	2143	4292	7744	13416	20260	36402
40	1835	3673	6628	11482	17340	31155
50	1626	3256	5874	10176	15368	27612
60	1473	2950	5322	9220	13924	25019
70	1355	2714	4896	8483	12810	23017
80	1261	2525	4555	7891	11918	21418
90	1183	2369	4274	7404	11182	20091
100	1117	2238	4037	6994	10562	18978
125	990	1983	3578	6199	9361	16820
150	897	1797	3242	5616	8482	15240
175	826	1653	2983	5167	7803	14020
200	778	1539	2775	4807	7259	13043
225	721	1443	2603	4510	6811	12238
250	681	1363	2459	4260	6434	11560
275	646	1294	2336	4046	6111	10979
300	617	1235	2228	3860	5830	10474
350	567	1136	2050	3551	5363	9636
400	528	1057	1907	3304	4989	8965
450	495	992	1789	3100	4681	8411
500	468	937	1690	2928	4422	7945
600	424	849	1531	2653	4007	7199
700	390	781	1409	2441	3686	6623
800	363	726	1311	2271	3429	6161
900	340	682	1230	2131	3217	5781
1000	322	644	1162	2012	3039	5461
1500	258	517	933	1616	2441	4385
2000	221	443	798	1383	2089	3753

IPS: Iron pipe size. SDR: Standard dimension ratio.

Notes:

(1) Capacities are in 1000 Btu/hr.

(2) Dimensions in parentheses are inside diameter.



TANK SIZE	TANK DIMENSIONS	NUMBER OF ANCHORS	COMMENTS
120 GAL	24" x 67" LG	4	PLACE NEAR CENTER
150 GAL	24" x 82" LG		
250 GAL	30" x 92" LG		
500 GAL	37" x 10' LG	4	
1,000 GAL	41" x 16' LG	4	

GENERAL NOTES:

- PARALLEL TANKS SHALL BE SPACED A MINIMUM OF 3 FEET APART. STAGGER ANCHORS ON PARALLEL TANKS TO PROVIDE MAXIMUM DISTANCE BETWEEN ANCHORS. NO SPECIAL REQUIREMENTS WHEN TANKS ARE SPACED LINEAL.
- EARTH ANCHORS TO BE 4' IN LENGTH WITH SINGLE 6" DIAMETER HELIX (DE-DOWN ENGINEERING MICH5/3) WITH A MINIMUM WORKING LOAD OF 2,150 POUNDS.
STRAP 1 1/4" x 0.31 GALVANIZED STEEL, CLASS B, GRADE 1, 4725 TENSILE STRENGTH
CABLE 7/32" x 19 GALVANIZED CABLE, 5600 LB BREAKING STRENGTH, 2 ANCHORS REQUIRED FOR EACH STRAP OR CABLE
- ALL CONCRETE SHALL BE 3,000 PSI AT 28 DAYS
- ALL REINFORCING SHALL BE GRADE 60 MINIMUM LAP ALL STEEL BAR 24" WHERE REQUIRED
- DESIGNS FOR USE IN ALL "A" AND "V" ZONES. WIND = 160 MPH VASD = 124 MPH RISK CATEGORY I, II, III & IV AND WIND EXPOSURE D INTERNAL PRESSURE NOT APPLICABLE. DESIGN PER FLORIDA 2020 BUILDING CODE AND ASCE 7-16. DESIGN TAKES INTO ACCOUNT THE EFFECTS OF BOUYANCY

NOTE:
LOADING FOR STRAP AND CABLE
CONDITIONS IS BASED UPON 3150 LB
WORKING LOAD CAPACITY

WARNING:
ALWAYS CHECK FOR UNDERGROUND
UTILITIES BEFORE INSTALLING

BELOW GROUND EARTH AUGERS

120 GALLONS THRU 1,000 GALLONS

Original designed by
ROBERT CASE
Date: 21 05, 18
13:22:11 -0400'

LLS
RESIDENTIAL & COMMERCIAL
ENGINEERING & SURVEY SERVICES
LLS ENGINEERING, LLC
1100 W. US HWY 90, SUITE 100
MARIETTA, GA 30067
770.426.1111
www.lls.com

PROpane TANK ANCHORAGE
LEE COUNTY, FL
PLAN AND DETAILS

DATE: 05/21/18
SITE: 18-001
SHEET: 02
SHEET

C1

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9F

SKETCH OF DESCRIPTION

14361 Charthouse Circle

Lot 54

Occupied

S 51°01'53" W 130.00' (PL&M)

PORTION OF D.E. TO BE VACATED 71.49 SQ. FT.

Lot 53

14361 Charthouse Circle
One Story Residence
Under Construction
Finished Floor Elev.=8.97'

Tract OS3
(AD, DE, IE)

LEGAL DESCRIPTION OF PORTION OF DRAINAGE EASEMENT TO BE VACATED

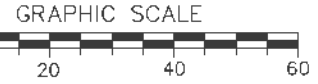
ALL THAT PART OF LOT 53, PARROT CAY, AS RECORDED IN PLAT BOOK 58, PAGES 75-78, COLLIER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WESTERLY CORNER OF SAID LOT 53; THENCE N. 51°01'53" E. A DISTANCE OF 42.00 FEET ALONG THE COMMON PROPERTY LINE OF LOTS 53 AND 54, PARROT CAY; THENCE LEAVING SAID COMMON PROPERTY LINE RUN S. 38°58'07" E. A DISTANCE OF 6.58 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE N. 51°01'53" E. A DISTANCE OF 77.71 FEET; THENCE S. 38°58'07" E. A DISTANCE OF 0.92 FEET; THENCE S. 51°01'53" W. A DISTANCE OF 77.71 FEET; THENCE N. 38°58'07" W. A DISTANCE OF 0.92 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING AN AREA OF 71.49 SQUARE FEET.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PL&M)	60.00'	13.50'	13.47'	N 46°21'44" W	12°53'24"
C2 (PL&M)	255.00'	4.22'	4.22'	N 39°26'34" W	00°56'55"
C3 (PL&M)	385.00'	6.37'	6.37'	N 39°26'35" W	00°56'55"

LINE	BEARING	DISTANCE
L1	N 51°01'53" E	42.00'
L2	S 38°58'07" E	6.58'
L3	N 51°01'53" E	77.71'
L4	S 38°58'07" E	0.92'
L5	S 51°01'53" W	77.71'
L6	N 38°58'07" W	0.92'



DESCRIPTION: AS FURNISHED BY CLIENT

LOT 53
PARROT CAY

AS RECORDED IN PLAT BOOK 58, PAGE 75 THRU 78 OF THE PUBLIC RECORDS OF Collier COUNTY, FLORIDA
THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

I HEREBY CERTIFY TO:
FLORIDA LIFESTYLE HOMES, INC.;
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;
KEVIN A. DENTI, P.A.;
AMERICAN MOMENTUM BANK;

THAT A SURVEY OF THE HEREON DESCRIBED PROPERTY WAS MADE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
ELECTRONIC SIGNATURE USED IN ACCORDANCE WITH APPLICABLE STATE LAWS AND RULES INCLUDING BUT NOT LIMITED TO FLORIDA STATUTES 568.001, 568.50 AND FLORIDA ADMINISTRATIVE CODE CHAPTER 5J-17.

5J-17.051(3)(b)6 - ADDITION OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY OR PARTIES

Digitally signed by Antonio Trigo PLS No 2982 Date: 2022.06.30 09:10:33 -0400

THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED ABOVE. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED. UNDERGROUND IMPROVEMENTS NOT LOCATED UNLESS NOTED.

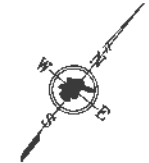
- LEGEND:
- = FOUND CONCRETE MONUMENT
 - = SET CONCRETE MONUMENT (LB # 3964)
 - = FOUND IRON PIN
 - = SET 5/8" IRON PIN (LB # 3964)
 - ▲ = FOUND NAIL
 - △ = SET NAIL
 - ⊙ = FOUND DRILL HOLE
 - ⊘ = SET DRILL HOLE
 - P.C. = POINT OF CURVATURE
 - P.T. = POINT OF TANGENCY
 - P.I. = POINT OF INTERSECTION
 - L.B. = LAND SURVEYING BUSINESS
 - C.B/S = CONCRETE BLOCK STRUCTURE
 - C/S = CONCRETE SLAB
 - P.R.C. = POINT OF REVERSE CURVATURE
 - P.R.M. = PERMANENT REFERENCE MONUMENT
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - ⊕ = WATER METER
 - ⊙ = SANITARY CLEAN OUT
 - ⊕ = WATER VALVE
 - BB = BEARING BASIS - PLAT
 - MEAS = MEASURED - M
 - CALC. = CALCULATED
 - Δ = DELTA ANGLE
 - R = RADIUS
 - CH = CHORD
 - CB = CHORD BEARING
 - DE = DRAINAGE EASEMENT
 - UE = UTILITY EASEMENT
 - CONC. = CONCRETE
 - LWE = LAKE MAINTENANCE EASEMENT
 - IE = IRRIGATION EASEMENT
 - L.S. = LAND SURVEYOR
 - EL. = ELEVATION
 - PL = PLAT
 - ⊕ = CABLE TV SERVICE
 - ⊕ = CONC POWER POLE
 - ⊕ = TELEPHONE SERVICE
 - ⊕ = ELECTRIC SERVICE
 - ⊕ = SANITARY MANHOLE
 - ⊕ = FIRE HYDRANT

SURVEY DATE: 10/30/2019
FIELD BOOK 701 PAGE 74
DRAWN BY: PSC SCALE: 1" = 20'

REVISIONS:	BOOK	PAGE
11/06/19 Revised Certifications		
11/30/21 Add Foundation Location		
6/23/2022 7.5' Drainage Easement	Dwg	

A. TRIGO & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS & MAPPERS
2223 TRADE CENTER WAY
NAPLES, FLORIDA 34109
LAND SURVEYING BUSINESS # 3964

FILE NO: A 19.0298



Benchmark PK Nail and Disk #6952 El.=7.20'(NAVD)

Centerline Bearing Basis N 39°55'02" W 255.45'
Charthouse Circle
50' Right-of-Way

5' Concrete Sidewalk
2 Valley Gutter
Edge of Pavement
N 39°55'02" W 80.45' (PL&M)

POINT OF COMMENCEMENT
POINT OF BEGINNING
7.5' D.E. & I.E.

Found 5/8" Iron Pin No 10#

Set 5/8" Iron Pin and Cap #3964

Set 5/8" Iron Pin and Cap #3964

Set 5/8" Iron Pin and Cap #3964

Tract L1
(LAKE, DE)

Edge of Water

10' P.U.E.

24.8' Low Garage Elev.=8.47'

24.5' Low Garage Elev.=8.59'

3.7x5' Conc. Pad Elev.=9.0'

4'x10' Conc. Pad Elev.=8.63'

Set 5/8" Iron Pin and Cap #3964

Set 5/8" Iron Pin and Cap #3964

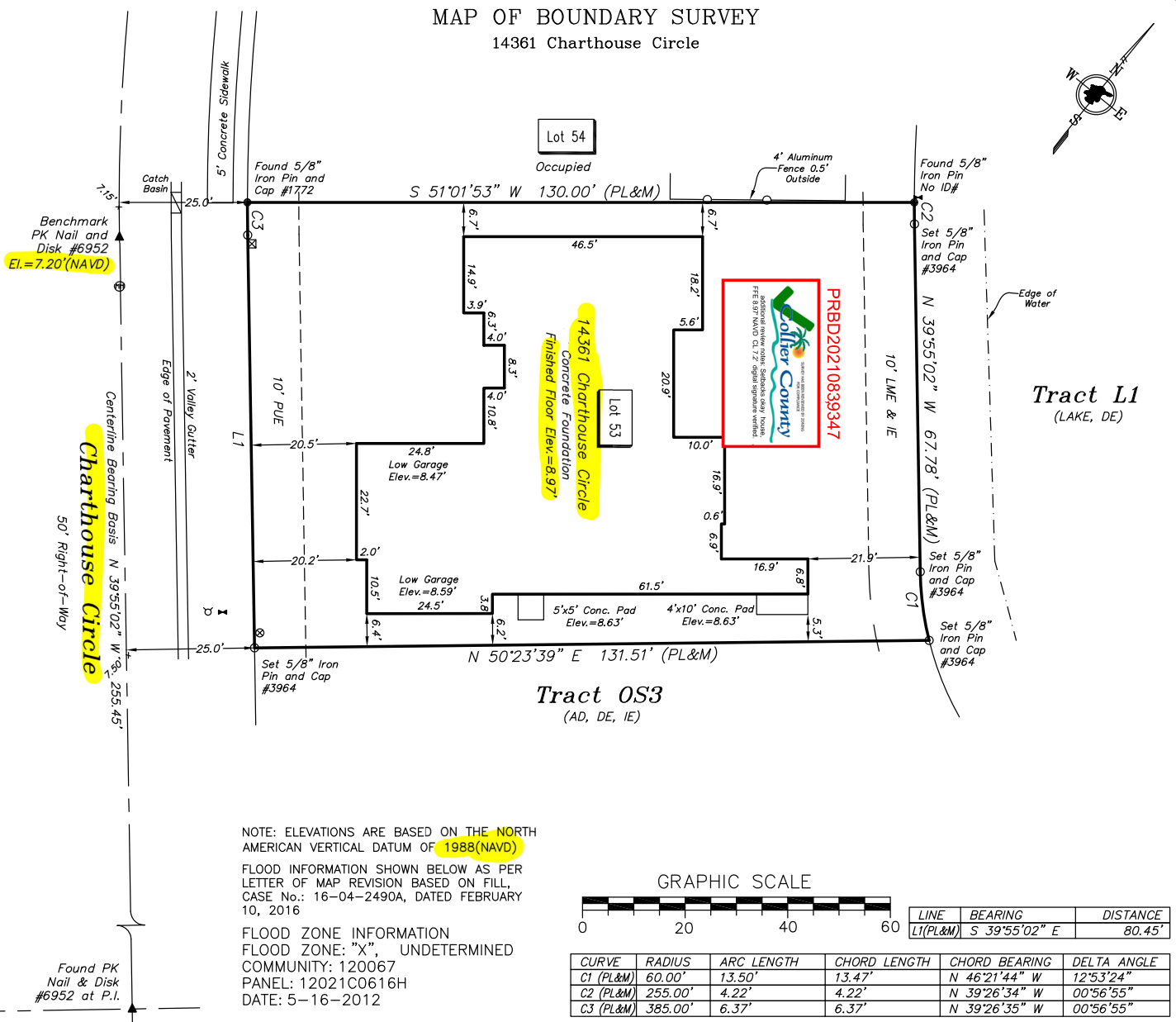
Found PK Nail & Disk #6952 at P.I.

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

9G

MAP OF BOUNDARY SURVEY

14361 Charthouse Circle



DESCRIPTION: AS FURNISHED BY CLIENT

LOT 53
PARROT CAY

AS RECORDED IN PLAT BOOK 58 PAGE 75 THRU 78 OF THE PUBLIC RECORDS OF Collier COUNTY, FLORIDA

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

I HEREBY CERTIFY TO:

FLORIDA LIFESTYLE HOMES, INC.;
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;
KEVIN A. DENTI, P.A.;
AMERICAN MOMENTUM BANK;

THAT A SURVEY OF THE HEREOF DESCRIBED PROPERTY WAS MADE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

ELECTRONIC SIGNATURE USED IN ACCORDANCE WITH APPLICABLE STATE LAWS AND RULES INCLUDING BUT NOT LIMITED TO FLORIDA STATUTES 668.001, 668.50 AND FLORIDA ADMINISTRATIVE CODE CHAPTER 5J-17.

5J-17.051(3)(b)6 - ADDITION OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY OR PARTIES

David C. Holman Digitally signed by David C. Holman
Date: 2021.12.03 10:43:01 -0500

STATE OF FLORIDA

THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED ABOVE. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED. UNDERGROUND IMPROVEMENTS NOT LOCATED UNLESS NOTED.

- LEGEND:**
- = FOUND CONCRETE MONUMENT
 - = SET CONCRETE MONUMENT (LB # 3964)
 - = FOUND IRON PIN
 - = SET 5/8" IRON PIN (LB # 3964)
 - ▲ = FOUND NAIL
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 - LME = LAKE MAINTENANCE EASEMENT
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 - ⊟ = TELEPHONE SERVICE
 - ⊠ = ELECTRIC SERVICE
 - ⊡ = SANITARY MANHOLE
 - ⊢ = FIRE HYDRANT

SURVEY DATE: 10/30/2019
FIELD BOOK 701 PAGE 74
DRAWN BY: PSC SCALE: 1" = 20'

REVISIONS:	BOOK	PAGE
11/06/19 Revised Certifications		
11/30/21 Add Foundation Location	Dwg	

A. TRIGO & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS & MAPPERS
2223 TRADE CENTER WAY
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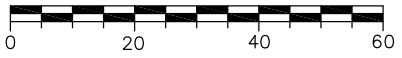
FILE NO: A 19.0298

NOTE: ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAVD)

FLOOD INFORMATION SHOWN BELOW AS PER LETTER OF MAP REVISION BASED ON FILL, CASE No.: 16-04-2490A, DATED FEBRUARY 10, 2016

FLOOD ZONE INFORMATION
FLOOD ZONE: "X", UNDETERMINED
COMMUNITY: 120067
PANEL: 12021C0616H
DATE: 5-16-2012

GRAPHIC SCALE



LINE	BEARING	DISTANCE
L1(PL&M)	S 39°55'02" E	80.45'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PL&M)	60.00'	13.50'	13.47'	N 46°21'44" W	12°53'24"
C2 (PL&M)	255.00'	4.22'	4.22'	N 39°26'34" W	00°56'55"
C3 (PL&M)	385.00'	6.37'	6.37'	N 39°26'35" W	00°56'55"

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

10

This instrument was prepared
without an opinion of title and
after recording return to
Gregory L. Urbancic, Esq.
Coleman, Yovanovich & Koester, P.A.
4001 Tamiami Trail North, Suite 300
Naples, Florida 34103
(239) 435-3535

ENCROACHMENT AGREEMENT

THIS ENCROACHMENT AGREEMENT (this "**Agreement**") is made this 19th day of April, 2022, by and between NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT ("**District**") and DAVID J. LEHOTAN AND PATRICIA J. LEHOTAN, TRUSTEES OF THE LEHOTAN LIVING TRUST DATED JULY 24, 1997 (collectively, "**Owner**")

RECITALS

A Owner is the owner in fee simple of that certain real property located at 14191 Charthouse Court, Naples, Florida 34114, which real property is legally described as follows (the "**Owner's Property**")

Lot 3, Parrot Cay, according to the plat thereof as recorded in Plat Book 58, Pages 75 through 78, inclusive, of the Public Records of Collier County, Florida

B Pursuant to the terms of the plat of Parrot Cay, a subdivision according to the plat thereof, as recorded in Plat Book 58, Pages 75 through 78, inclusive, of the Public Records of Collier County, Florida (the "**Plat**"), the west side of the Owner's Property is subject to and encumbered by 7.5' drainage easement and 7.5' irrigation easement (collectively, the "**Drainage Easement**") District is the owner and holder of rights in the Drainage Easement

C Owner intends to construct and maintain a fence and related improvements (collectively, the "**Improvements**") that will partially encroach into the Drainage Easement (the "**Encroachment**") as shown on the site plan attached as **Exhibit "A"** and made a part of this Agreement (the "**Site Plan**")

D The parties to this Agreement have reached certain understandings with regard to the Encroachment and now desire to set forth their understandings in writing for recordation

AGREEMENT

NOW, THEREFORE, the parties agree as follows

1 **Recitals** The foregoing recitals are true and correct and incorporated by reference into this Agreement

2 **Consent to the Encroachment and Covenant not to Construct** Subject to the terms of this Agreement, District hereby expressly consents to the Encroachment and Owner, for itself and on behalf of all of its heirs, successors and/or assigns agrees and covenants that, in consideration for such consent by District, no portion of the Improvements encroaching into the Drainage Easement shall ever be expanded or increased beyond that which is permitted herein. In the event District determines that, notwithstanding

Owner's agreement to the restrictive covenant set forth herein, any portion of the Improvements within the Drainage Easement has been expanded or increased or Owner has otherwise constructed or installed improvements beyond or in addition to the permitted Improvements in the Drainage Easement in violation of the terms hereof, and gives written notice to Owner of such determination, Owner or its successors and/or assigns shall have thirty (30) calendar days to correct such violation at its sole cost and expense after such written notice is actually received or deemed to have been received, whichever is earlier. In the event such violation is not corrected within such thirty (30) day period, Owner expressly agrees District may, and hereby further authorizes District to, take all steps necessary to remove such violating improvements, including, but not limited to, the right to enter onto the Owner's Property. Owner acknowledges that the Encroachment into the Drainage Easement is by consent of District and not by any claim of some other right.

3 **Owner's Responsibilities** Owner agrees to, and acknowledges the following responsibilities as a condition to District's consent to the Encroachment:

a Owner shall be fully responsible, at Owner's sole cost and expense, for the installation, operation, and maintenance of the Improvements, including any permits or approvals required for the work,

b Owner shall use a licensed and insured contractor to perform any installation and maintenance work pursuant to this Agreement.

c Owner shall ensure the installation, operation, and maintenance of the Improvements are conducted in compliance with all applicable laws,

c Owner shall ensure the installation, operation, and maintenance of the Improvements does not damage any property of District, or any third-party's property, and in the event of any such damage, Owner shall immediately repair the damage at Owner's sole cost and expense,

d Owner shall continue to operate, maintain, and repair the Improvements, in good and proper working condition and repair,

e Except as to the approved Encroachment approved herein, Owner shall ensure that District has access through the Drainage Easement to and from components of District's stormwater management system to allow District to operate, maintain and repair the same, as needed, and

f Owner shall maintain the Drainage Easement free from any construction, materialmen's or mechanic's liens and claims or notices with respect to such liens and claims, which arise by reason of Owner's exercise of rights under this Agreement, and Owner shall immediately discharge any such claim of lien at Owner's sole cost and expense.

4 **Additional Costs** In the event that at any time subsequent to the execution of this Agreement the Encroachment encumbers or inconveniences District's use of the Drainage Easement (including, without limitation, the maintenance, repair, and/or replacement of improvements within or adjacent to the Drainage Easement such as buried pipes or other drainage lines), District will make reasonable efforts to work around the Encroachment, provided, however, that Owner shall pay for all of District's costs associated with working around the Encroachment to the extent that such costs would not have been incurred but for the Encroachment. Said additional costs are, at the election of District, to be paid to District in advance of any work to be performed by District. District shall be the sole judge of such incremental costs. Only if District, in its sole judgment, is not able to work around the Encroachment, will District mandate that the Encroachment be moved or removed, at no cost to District, as then may be needed.

to allow District the needed use of the Drainage Easement. If Owner fails to remove the Encroachment after written request of District, District may remove the Encroachment and charge Owner for the cost thereof. Removal of the Encroachment will be the last alternative solution of any such use problem(s) unless the incremental cost of the least expensive and viable alternative solution exceeds the cost of removal.

5 **Indemnification** In order to induce District to consent to the Encroachment, as evidenced by this Agreement, Owner hereby agrees to fully protect, indemnify, defend, save and hold District, and its supervisors, officers, employees, agents, administrators, and all of their respective heirs, successors and assigns (collectively, the "**Indemnified Parties**"), harmless from and against any and all claims, damages, expenses, costs, charges, obligations, liabilities, fees, penalties, assessments, taxes, losses, etc. of any kind or nature whatsoever, whether mature or not, in law or in equity, whether as a result of settlement, litigation or arbitration which may be incurred or suffered by one or more of the Indemnified Parties arising out of, relating to or resulting from the construction, use, maintenance and occupation of the Encroachment and any removal of any improvements within the Encroachment, and in all events including, but not limited to, any and all attorneys' fees, court costs, and including costs incurred in any appellate proceedings, or costs of arbitration and all expenses in defending same, in connection with any and all of the above.

6 **Other Approvals** Owner shall be responsible for obtaining any and all approvals of any other entity having an interest in the Drainage Easement, including, without limitation Collier County and the Naples Reserve Homeowners Association, Inc.

7 **Binding Effect** This Agreement shall be binding upon and shall inure to the benefit of the parties, their respective heirs, successor and assigns forever. This Agreement, the rights and privileges herein granted and the burdens imposed hereby shall be perpetual and shall run with and bind Owner's Property.

8 **Governing Law / Venue** This Agreement shall be construed in accordance with Florida law (exclusive of choice of law rules). Venue for any action arising hereunder shall lie exclusively in Collier County, Florida.

9 **Prevailing Party** The prevailing party in any litigation arising out of this Agreement shall be entitled to recover from the non-prevailing party all attorneys' fees, paralegal fees, and costs incurred in connection with such litigation, whether pre-trial, at trial, in arbitration, on appeal, or otherwise.

10 **Partial Invalidity** If any term or provision of this Agreement or the application thereof to any person or circumstances shall, to any extent, be declared invalid or unenforceable by a court of competent jurisdiction, the remainder of this Agreement, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, such term or provision shall be modified to the minimum extent necessary to make it or its application valid and enforceable, and the validity and enforceability of all other provisions of this Agreement and all other applications of any such term or provision shall not be affected thereby, and each term and provision of this Agreement shall be valid and be enforced to the fullest extent permitted by law.

11 **Modifications** This Agreement may not be modified in any respect whatsoever or rescinded, in whole or in part, except by written instrument duly executed and acknowledged by both of the Parties.

12 **Severability** In the event any term or provision of this Agreement is determined by appropriate judicial authority to be illegal or otherwise invalid, such provision shall be construed or deleted

as such authority determines, and the remainder of this Agreement shall be construed to be in full force and effect

13 **Integration** This Agreement embodies the entire understanding of the parties with respect to the subject matter contemplated herein, and the terms hereof control over and supersede all prior and contemporaneous understandings pertaining to the subject matter hereof

14 **Interpretation** This Agreement has been negotiated fully between the parties as an arms' length transaction Both parties participated fully in the preparation of this Agreement In the case of a dispute concerning the interpretation of any provision of this Agreement, both parties are deemed to have drafted, chosen, and selected the language, and the doubtful language will not be interpreted or construed against any party

15 **Counterparts** This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original as against any party who signature appears thereon and all of which shall together constitute one and the same instrument

16 **Termination.** This Agreement shall continue in full force and effect until terminated by recording an instrument in the Public Records of Collier County, Florida, signed by the parties or their successors and assigns to this Agreement or upon the removal by Owner of the Encroachment

(Remainder of Page Intentionally Left Blank. Signatures Begin on Next Page)

The parties have executed this Agreement as of the date first written above

DISTRICT:

**NAPLES RESERVE COMMUNITY
DEVELOPMENT DISTRICT**

ATTEST

A. f. Hanna
Secretary / Assistant Secretary

By Tom Marquardt
Chair / Vice Chair

STATE OF FLORIDA)
) ss.
COUNTY OF COLLIER)

The foregoing instrument was acknowledged before me by means of () physical presence or () online notarization this 19th day of April, 2022, by Tom Marquardt, as Chair of Naples Reserve Community Development District, on behalf of said community development district, who is () personally known to me or () has produced _____ as evidence of identification

(SEAL)



DIANA VANESA FERRO
Commission # HH 111849
Expires July 31, 2025
Bonded Thru Budget Notary Services

NOTARY PUBLIC
Name Diana Vanesa Ferro
(Type or Print)

My Commission Expires. July 31, 2025

OWNER:

David J. Lehotan

David J Lehotan, Trustee of the Lehotan Living Trust Dated July 24, 1997

Patricia J. Lehotan

Patricia J Lehotan, Trustee of the Lehotan Living Trust Dated July 24, 1997

STATE OF FLORIDA)
) ss
COUNTY OF COLLIER)

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 21st day of March, 2022, by David J Lehotan and Patricia J Lehotan, Trustees of the Lehotan Living Trust Dated July 24, 1997, who are personally known to me or have produced FL DL as evidence of identification

(SEAL)

William Cutter Dorman

NOTARY PUBLIC

Name William Cutter Dorman
(Type or Print)

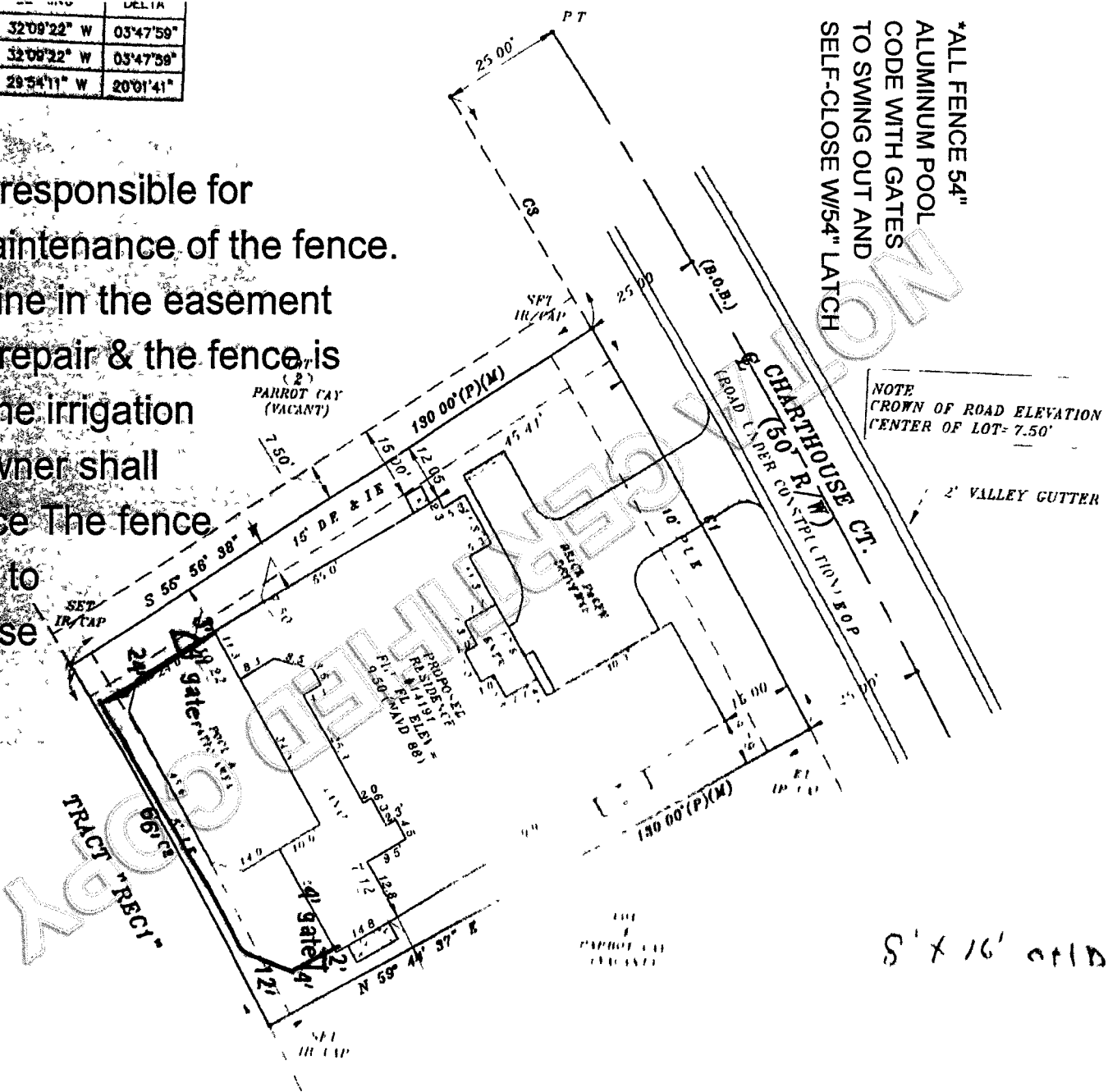
My Commission Expires 22 May 2025



NOT A REPRODUCED COPY

	DELTA				
61	1415.00	93.83	93.84	N 32°09'22" W	03°47'59"
62	1285.00	85.21	85.22	N 32°09'22" W	03°47'59"
63	1415.00	192.11	192.11	N 29°54'11" W	20°01'41"

Owner shall be responsible for ownership & maintenance of the fence. If the irrigation line in the easement requires maint/repair & the fence is in conflict with the irrigation line then the owner shall remove the fence. The fence shall be subject to an Easement Use Agreement.



*ALL FENCE 54" ALUMINUM POOL CODE WITH GATES TO SWING OUT AND SELF-CLOSE W/54" LATCH

NOTE CROWN OF ROAD ELEVATION CENTER OF LOT= 7.50'

Exhibit "A"

S' X 16' 0110

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

11

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
FINANCIAL STATEMENTS
UNAUDITED
JUNE 30, 2022**

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
BALANCE SHEET
GOVERNMENTAL FUNDS
JUNE 30, 2022**

	General Fund	Debt Service Fund Series 2014	Debt Service Fund Series 2018	Capital Projects Fund Series 2018	Total Governmental Funds
ASSETS					
Cash	\$ 340,621	\$ -	\$ -	\$ -	\$ 340,621
Investments					
Reserve	-	519,031	279,619	-	798,650
Revenue	-	409,451	394,787	-	804,238
Prepayment	-	14,808	632	-	15,440
Due from FineMark	21,050	-	-	-	21,050
Due from general fund	-	2,798	3,009	-	5,807
Undeposited funds	320	-	-	-	320
Total assets	<u>\$ 361,991</u>	<u>\$ 946,088</u>	<u>\$ 678,047</u>	<u>\$ -</u>	<u>\$ 1,986,126</u>
LIABILITIES					
Liabilities:					
Due to debt service fund - seires 2014	\$ 2,798	\$ -	\$ -	\$ -	\$ 2,798
Due to debt service fund - series 2018	3,009	-	-	-	3,009
Developer advance	1,500	-	-	-	1,500
Total liabilities	<u>7,307</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>7,307</u>
FUND BALANCES:					
Restricted for					
Debt service	-	946,088	678,047	-	1,624,135
Assigned					
3 months working capital	79,564	-	-	-	79,564
Lake bank remediation	150,000	-	-	-	150,000
Unassigned	125,120	-	-	-	125,120
Total fund balances	<u>354,684</u>	<u>946,088</u>	<u>678,047</u>	<u>-</u>	<u>1,978,819</u>
Total liabilities, deferred inflow of resources and fund balances	<u>\$ 361,991</u>	<u>\$ 946,088</u>	<u>\$ 678,047</u>	<u>\$ -</u>	<u>\$ 1,986,126</u>
Total liabilities and fund balances	<u>\$ 361,991</u>	<u>\$ 946,088</u>	<u>\$ 678,047</u>	<u>\$ -</u>	<u>\$ 1,986,126</u>

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
GENERAL FUND
FOR THE PERIOD ENDED JUNE 30, 2022**

	Current Month	Year to Date	Budget	% of Budget
REVENUES				
Assessment levy: on-roll	\$ 2,450	\$464,043	\$462,830	100%
Miscellaneous income	-	1,598	-	N/A
Total revenues	<u>2,450</u>	<u>465,641</u>	<u>462,830</u>	101%
EXPENDITURES				
Administrative				
Engineering	-	16,310	25,000	65%
Audit	-	7,200	7,200	100%
Legal	-	13,453	15,000	90%
Legal bond counsel	-	800	-	N/A
Management, accounting, recording	4,080	36,720	48,960	75%
Debt service fund accounting	458	4,125	5,500	75%
Postage	-	271	500	54%
Insurance	-	6,405	6,808	94%
Trustee	-	4,760	4,800	99%
Trustee - second bond series	4,031	4,031	5,500	73%
Arbitrage rebate calculation	-	-	1,500	0%
Dissemination agent	167	1,500	2,000	75%
Telephone	4	37	50	74%
Printing & binding	29	263	350	75%
Legal advertising	196	1,106	1,200	92%
Annual district filing fee	-	175	175	100%
Contingencies	-	-	2,500	0%
Website	-	705	705	100%
ADA website compliance	-	-	210	0%
Property appraiser	-	2,924	7,232	40%
Tax collector	49	9,281	9,642	96%
Total administration expenses	<u>9,014</u>	<u>110,066</u>	<u>144,832</u>	<u>76%</u>
Field Operations				
Engineering stormwater analysis	-	434	-	N/A
Drainage / catch basin maintenance	-	-	3,000	0%
Other repairs and maintenance	23,411	25,661	75,000	34%
Lake maintenance / water quality	4,402	22,222	75,000	30%
Total field operations expenses	<u>27,813</u>	<u>48,317</u>	<u>153,000</u>	<u>32%</u>
Total expenditures	<u>36,827</u>	<u>158,383</u>	<u>297,832</u>	<u>53%</u>
Excess (deficiency) of revenues over/(under) expenditures	(34,377)	307,258	164,998	
Fund balance - beginning	389,061	47,426	71,135	
Fund balance - ending				
Assigned				
3 months working capital	79,564	79,564	79,564	
Lake bank remediation	150,000	150,000	150,000	
Unassigned	125,120	125,120	6,569	
Fund balance - ending	<u>\$354,684</u>	<u>\$354,684</u>	<u>\$236,133</u>	

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND - SERIES 2014
FOR THE PERIOD ENDED JUNE 30, 2022**

	<u>Current Month</u>	<u>Year to Date</u>	<u>Budget</u>	<u>% of Budget</u>
REVENUES				
Assessment levy: on-roll	\$ 2,855	\$ 540,828	\$ 539,300	100%
Assessment prepayment	14,808	14,808	-	N/A
Interest	4	32	-	N/A
Total revenues	<u>17,667</u>	<u>555,668</u>	<u>539,300</u>	103%
EXPENDITURES				
Debt service				
Principal	-	140,000	140,000	100%
Principal prepayments	-	5,000	-	N/A
Interest	-	371,796	371,938	100%
Total debt service	<u>-</u>	<u>516,796</u>	<u>511,938</u>	101%
Other fees and charges				
Tax collector	57	10,818	11,235	96%
Property appraiser	-	3,407	8,427	40%
Total other fees and charges	<u>57</u>	<u>14,225</u>	<u>19,662</u>	72%
Total expenditures	<u>57</u>	<u>531,021</u>	<u>531,600</u>	100%
Excess/(deficiency) of revenues over/(under) expenditures	17,610	24,647	7,700	
Fund balances - beginning	<u>928,478</u>	<u>921,441</u>	<u>851,036</u>	
Fund balances - ending	<u>\$ 946,088</u>	<u>\$ 946,088</u>	<u>\$858,736</u>	

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND - SERIES 2018
FOR THE PERIOD ENDED JUNE 30, 2022**

	<u>Current Month</u>	<u>Year to Date</u>	<u>Budget</u>	<u>% of Budget</u>
REVENUES				
Assessment levy: on-roll	\$ 3,071	\$ 581,600	\$ 580,060	100%
Interest	124	146	-	N/A
Total revenues	<u>3,195</u>	<u>581,746</u>	<u>580,060</u>	100%
EXPENDITURES				
Debt service				
Principal	-	150,000	150,000	100%
Principal prepayments	-	15,000	10,000	150%
Interest	-	407,003	407,003	100%
Total debt service	<u>-</u>	<u>572,003</u>	<u>567,003</u>	101%
Other fees and charges				
Property appraiser	-	3,664	9,063	40%
Tax collector	62	11,632	12,085	96%
Total other fees and charges	<u>62</u>	<u>15,296</u>	<u>21,148</u>	72%
Total expenditures	<u>62</u>	<u>587,299</u>	<u>588,151</u>	100%
Excess/(deficiency) of revenues over/(under) expenditures	3,133	(5,553)	(8,091)	
OTHER FINANCING SOURCES/(USES)				
Transfers in	-	148	-	N/A
Total other financing sources	<u>-</u>	<u>148</u>	<u>-</u>	N/A
Net change in fund balances	3,133	(5,405)	(8,091)	
Fund balances - beginning	674,914	683,452	687,603	
Fund balances - ending	<u>\$678,047</u>	<u>\$678,047</u>	<u>\$679,512</u>	

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
CAPITAL PROJECTS FUND - SERIES 2018
FOR THE PERIOD ENDED JUNE 30, 2022**

	Current Month	Year to Date
REVENUES	\$ -	\$ -
Total revenues	-	-
EXPENDITURES		
Total expenditures	-	-
OTHER FINANCING SOURCES/(USES)		
Transfers (out)	-	(148)
Total other financing sources	-	(148)
Net change in fund balances	-	(148)
Fund balance - beginning	-	148
Fund balance - ending	\$ -	\$ -

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

12

DRAFT

**MINUTES OF MEETING
NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

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The Board of Supervisors of the Naples Reserve Community Development District held a Regular Meeting on June 2, 2022 at 10:30 a.m., at the Island Club at Naples Reserve, Activities Room, 14885 Naples Reserve Circle, Naples, Florida 34114.

Present at the meeting were:

Thomas Marquardt	Chair
Deborah Lee Godfrey	Vice Chair
Anna Harmon	Assistant Secretary
Charlene Hill	Assistant Secretary

Also present, were:

Cindy Cerbone	District Manager
Jamie Sanchez	Wrathell, Hunt and Associates, LLC (WHA)
Shane Willis	Operations Manager
Greg Urbancic	District Counsel
Terry Cole	District Engineer
Jerry Whitlock	Resident
Heidi McIntyre	Resident
Jose Fernandez	Resident
Al Duffy	Resident
Lisa Wild	Resident
Tom & Judy Dippert	Residents

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Ms. Cerbone called the meeting to order at 10:31 a.m. Supervisors Marquardt, Godfrey, Hill and Harmon were present in person. Supervisor Inez were not present.

SECOND ORDER OF BUSINESS

Public Comments

There were no public comments.

THIRD ORDER OF BUSINESS

Chairman's Opening Remarks

Mr. Marquardt reported the following:

42 ➤ Napier Sprinkler (Napier) has been doing shoreline repairs from a priority list, in
43 response to a South Florida Water Management District (SFWMD) inspection.

44 ➤ Mr. Bruno, from Dockside, thought the work was not up to standard.

45 ➤ Mr. Marquardt inspected the area and noticed that Napier extended a pipe directly
46 from downspouts and out of an easement area, which is CDD property, and onto a
47 homeowners' property. The homeowner was not there when this occurred.

48 ➤ The issue was addressed and resolved.

49 Asked to explain what happened with Napier, Mr. Cole stated that pipes were fitted to
50 downspouts at several homes and those areas were sodded, as necessary; Staff will continue
51 monitoring them. He recommended withholding a 10% retainage from Napier for the next 30
52 days.

53 Discussion ensued regarding rainfall, Napier, the extended downspouts and the SFWMD
54 noncompliance items. Mr. Marquardt stated the CDD has an obligation to alert homeowners of
55 the downspouts and inform them of their options. Mr. Cole was asked to supply Napier with
56 the addresses of the homes that were fitted to downspouts so that Napier can remedy the
57 situation.

58 ➤ Mr. Marquardt will meet with the Landscaping Committee next week to discuss the
59 littorals.

60 ➤ Lyn Livingston emailed to express concern about there being no littoral plants in Lake 12
61 and to ask why Lake 12 is being ignored when the CDD budgeted \$75,000 for lake maintenance
62 and \$60,000 for littoral plants.

63 Discussion ensued regarding the request for the CDD to install littorals, the County, the
64 littoral planting schedule and the expense involved.

65 Asked if the CDD's littoral plan is a permit plan or an agreement, Mr. Cole stated it is a
66 permitted plan; the littoral areas are not on the lake exhibit that was previously distributed.

67 Asked if the CDD is obligated to only have plants in the designated areas, according to the
68 permit, Mr. Cole replied affirmatively and stated that littoral shelves are typically constructed in
69 the shallower slope. The defined areas are conducive to littoral plants because they have a
70 shallower slope.

71 Mr. Marquardt stated that the Board's consensus is that the request for additional
72 littorals is denied, for now, and would be reconsidered only if there are additional requests. Mr.
73 Marquardt would inform the resident.

74

75 **FOURTH ORDER OF BUSINESS**

**Introduction of Shane Willis, Operations
76 Manager (Wrathell, Hunt and Associates,
77 LLC)**

78

79 Ms. Cerbone stated an oversight agreement is currently in place with the HOA regarding
80 operations and maintenance of CDD improvements. At the previous meeting, the Board and
81 Staff discussed having a WHA team member provide operational oversight in Fiscal Year 2023,
82 at an annual rate of \$5,000. In conferring with the Chair and Mr. Willis, it was suggested that
83 Mr. Willis commence servicing the District on July 1, 2023, if the other Board Members are
84 amenable. If there is a consensus, it will be necessary to amend the WHA Management Services
85 Agreement and prorate the \$5,000 annual fee for the remainder of Fiscal Year 2022. This line
86 item has been included in the proposed Fiscal Year 2023 budget.

87 Mr. Willis thanked the Board, gave a brief summary of his professional background and
88 described his duties as the Operations Manager, including examining the littorals, reviewing the
89 lake bank restoration projects, working with vendors and holding them to their contracts and
90 ensuring quality control.

91 Mr. Willis responded to questions regarding how often he will be on site, resident
92 interaction, coordinating with HOA representatives, communicating with the Board and
93 monthly reports.

94 Ms. Cerbone stated Mr. Willis recently toured the community, took notice of the lakes
95 and, subject to the Board's approval, Mr. Willis will be added to the permanent entry list. Mr.
96 Willis will be on site twice per month and attend most meetings in person.

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**On MOTION by Mr. Marquardt and seconded by Ms. Godfrey, with all in favor,
amending the WHA Management Services Agreement to add Field Operations
Management/Oversight, effective July 1, 2022, in the amount of \$5,000
annually, authorizing the Chair to execute the Amendment between meetings
and presenting it for ratification at the next meeting, was approved.**

104 **FIFTH ORDER OF BUSINESS****Service Provider Reports**

105

106 **A. Cardno**

107 Ms. Cerbone stated that Cardno continues to send a Water Usage and Water Quality
108 Report on a quarterly basis and are communicating with the HOA. as well.

109 Mr. Marquardt asked about the purpose the visible markings on the PVC pipes in some
110 of the lakes. Mr. Willis stated it is very common. Oftentimes, they are elevation marks that the
111 contractors left on the pipes during the excavation process. Typically, the vendor would cut
112 them below the water surface so they are not visible.

113 Discussion ensued regarding the markings. Mr. Marquardt asked for them to be
114 removed. Ms. Sanchez stated Mr. Kurth forwarded an email on May 5, 2023 communicating
115 that SOLitude already removed 20 of the 21 pipes and will return to remove the last one.

116 **B. SOLitude Lake Management, LLC**

117 Ms. Cerbone stated Staff received the SOLitude report yesterday. SOLitude sprayed and
118 will be removing the one last pipe and will install the littorals by the end of the month, to
119 coincide with the beginning of the rainy season.

120 **C. Napier Sprinkler, Inc.**

121 Ms. Cerbone recalled that the Chair gave a brief update during his opening comments
122 and Napier confirmed, via a written notice, that everything is complete except for re-sodding
123 the staging area, which is anticipated to be completed by the end of the week or next week.

124 Ms. Cerbone stated that Mr. Willis would receive copies of all vendor contracts, a list of
125 current completed projects and an \$83,000 proposal that was approved at the last meeting. In
126 response to a question, Ms. Cerbone stated Mr. Willis will review and approve invoices before
127 they are paid. Accounting will be notified of the District Engineer's recommendation to
128 withhold 10% of Napier's payment, when submitted, until Mr. Willis confirms that everything
129 has been settled. Mr. Willis will be included on the email and documentation chain.

130

131 **SIXTH ORDER OF BUSINESS****Consideration of Resolution 2022-07,
Approving a Proposed Budget for
FY2022/2023 and Setting a Public Hearing
Thereon Pursuant to Florida Law;
Addressing Transmittal, Posting and
Publication Requirements; Addressing**

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Severability; and Providing an Effective Date

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Ms. Cerbone presented Resolution 2022-07. She reviewed the proposed Fiscal Year 2023 budget, highlighting any line item increases, decreases and adjustments, compared to the Fiscal Year 2022 budget, and explained the reasons for any changes.

Conversation ensued about SOLitude, Napier, lowering assessments, notices to homeowners, unassigned fund balance, reserve funds, \$75,000 “Other repairs and maintenance” line item and how to set aside funds for lake bank remediation.

Ms. Cerbone recapped the following:

- She will modify the lake bank remediation number and fund reserve by an additional \$100,000. In turn, assessments will be equal to the current assessment level.
- As soon as the budget is updated, it will be emailed to Board Members.

On MOTION by Ms. Hill and seconded by Ms. Harmon, with all in favor, Resolution 2022-07, Approving a Proposed Budget for FY2022/2023 and Setting a Public Hearing Thereon Pursuant to Florida Law for August 4, 2022 at 10:30 a.m., at the Island Club at Naples Reserve, 14885 Naples Reserve Circle, Naples, Florida 34114; Addressing Transmittal, Posting and Publication Requirements; Addressing Severability; and Providing an Effective Date, was adopted.

SEVENTH ORDER OF BUSINESS

Consideration of Stormwater Management Needs Analysis Report

Mr. Cole stated the Stormwater Management Needs Analysis Report is close to completion and would be submitted to the County within two weeks. He reviewed the Routine Operation and Maintenance Expenditures in Part 5.1 of the Report.

On MOTION by Mr. Marquardt and seconded by Ms. Godfrey, with all in favor, the Stormwater Management Needs Analysis Report and authorizing the District Engineer to file the report with the County, was approved.

EIGHTH ORDER OF BUSINESS

Acceptance of Unaudited Financial Statements as of April 30, 2022

174 Ms. Cerbone presented the Unaudited Financial Statements as of April 30, 2022.

175

176 **On MOTION by Mr. Marquardt and seconded by Ms. Harmon, with all in favor,**
 177 **the Unaudited Financial Statements as of April 30, 2022, were accepted.**

178

179

180 **NINTH ORDER OF BUSINESS**

Approval of May 5, 2022 Regular Meeting Minutes

181

182

183 Ms. Cerbone presented the May 5, 2022 Regular Meeting Minutes.

184

185 **On MOTION by Ms. Godfrey and seconded by Mr. Marquardt, with all in favor,**
 186 **the May 5, 2022 Regular Meeting Minutes, as presented, were approved.**

187

188

189 **TENTH ORDER OF BUSINESS**

Other Business

190

191 Ms. Godfrey gave the following update:

192 ➤ She met with the DRC and discussed ways to ensure that projects that current underway
 193 are addressed with regard to erosion.

194 ➤ There is significant erosion and improper drainage at her neighbor’s home, whose pool
 195 has been under construction for over a year.

196 ➤ The permit is still open and should remain open until the erosion repairs are made.

197 ➤ The County was notified but has not committed to anything.

198 Asked if the permit would be under HOA oversight, Ms. Godfrey stated nothing has
 199 been formalized and the Committee agreed that these issues need to be addressed.

200

201 **ELEVENTH ORDER OF BUSINESS**

Staff Reports

202

203 **A. District Counsel: *Coleman, Yovanovich & Koester, P.A.***

204 Mr. Urbancic stated, regarding the candidate qualifying period for the November 2022
 205 General Election, the Chair and another Board Member already qualified for their seats.

206 **B. District Engineer: *Hole Montes, Inc.***

- 207 • **Drainage Easements and Lake Conveyance Maps**

208 Mr. Cole stated a homeowner installed plants in an area that Napier was working on,
209 which prevented Napier from completing the work and restoring the lake bank area. Ian will
210 contact Diane, at the HOA, to coordinate.

211 Mr. Willis asked Mr. Cole to forward the email so he can follow up with the homeowner.

212 **C. District Manager: *Wrathell, Hunt and Associates, LLC***

213 Ms. Cerbone asked if the agreement with HOA for oversight should be terminated at the
214 next meeting. Mr. Urbancic replied affirmatively, as a cleanup matter.

215 • **NEXT MEETING DATE: July 7, 2022 at 10:30 AM**

216 ○ **QUORUM CHECK**

217 The next meeting would be held on July 7, 2022, unless cancelled.

218

219 **TWELFTH ORDER OF BUSINESS**

Public Comments

220

221 Ms. Judy Dippert stated that she is with Lake Watch and questioned the need for Lake
222 Watch when the CDD already utilizes the services of an Engineer and Operations Manager,
223 along with Cardno, Napier and SOLitude. She voiced her opinion that it might be redundant.

224 Ms. Cerbone stated, in order to maintain water quality and lake management in general,
225 the CDD enters into contracts with licensed, certified professionals that provide Certificates of
226 Insurance naming the CDD as additional-insured. Staff ensures that the vendors can be held
227 accountable legally and professionally. Since vendors are discouraged from interacting with
228 residents, Mr. Willis will hold the vendors accountable and serve as an intermediary with the
229 residents and vendors.

230 The need for a District Engineer, health of the lakes and water quality, were discussed.

231

232 **THIRTEENTH ORDER OF BUSINESS**

Supervisors' Requests

233

234 There were no Supervisors' requests.

235

236 **FOURTEENTH ORDER OF BUSINESS**

Adjournment

237

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239 **On MOTION by Mr. Marquardt and seconded by Ms. Hill, with all in favor, the**
240 **meeting adjourned at 11:54 a.m.**

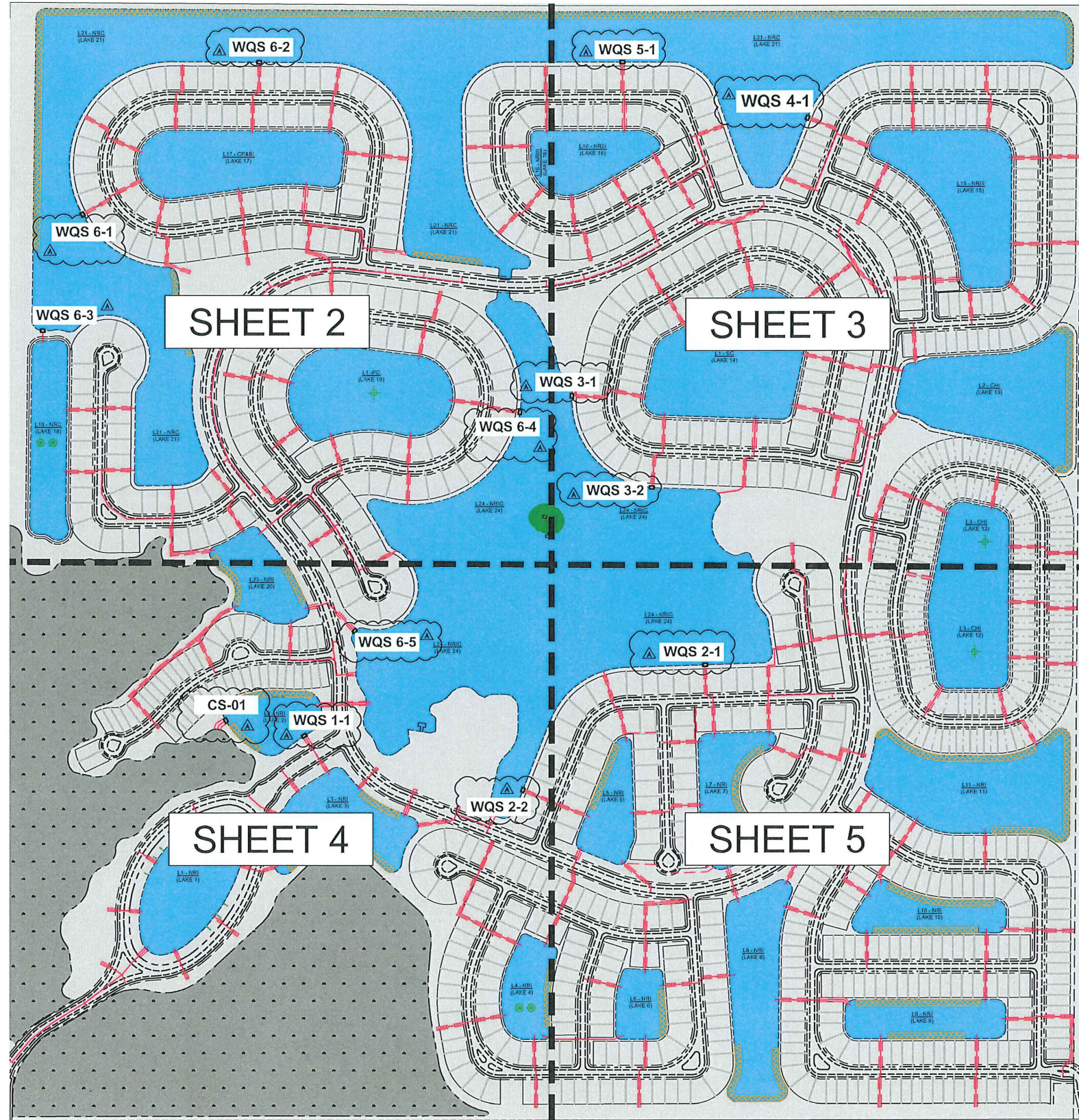
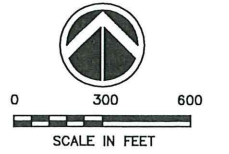
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Secretary/Assistant Secretary

Chair/Vice Chair

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

14B



LAKE	AREA (Ac.)	LAKE LITTORAL AREA (Ac.)
1	5.5	
2	2.7	.46
3	4.6	.79
4	2.6	.23
5	2.6	.23
6	1.9	.16
7	4.1	.42
8	6.1	.53
9	3.5	.68
10	3.2	.74
11	9.1	1.28
12	7.5	
13	8.8	.54
14	9.2	
15	7.5	
16	3.5	
17	6.7	
18	4.0	
19	7.0	
20	3.2	.35
21	61.1	5.00
24	50.0	
TOTAL	214.4	11.41

NOTES:

- ALL LAKES, STORMWATER MANAGEMENT PIPING AND PRESERVE SHALL BE MAINTAINED BY THE NAPLES RESERVE HOMEOWNERS ASSOCIATION, INC.
- THE DEVELOPMENT IS ZONED 'RPUD'.

LEGEND

L21 - NRC = LAKE # PER PLAT
(LAKE 21) = (ORIGINAL LAKE #)

- COMMUNITY DEVELOPMENT DISTRICT LANDS
- LAKE TRACTS CONVEYED TO CDD
- PRESERVE TRACTS MAINTAINED BY HOA
- DRAINAGE EASEMENTS AND PIPES MAINTAINED BY CDD
- LAKE LITTORAL AREA

N:\2013\2013030\Drawings\5008-01-04_CDD_PRESERVE TO HOA\5008_01_04_CDD_PRESERVE TO HOA.dwg Plot: 5008-01_04_CDD_PRESERVE TO HOA.dwg - 10:38am Printed by: hds

LETTER	REVISIONS	DATE
	ADDED WCS's & WQS's	5/22

NAPLES RESERVE

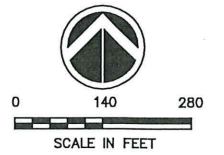
DESIGNED BY W.W.B.	DATE 2/21
DRAWN BY W.W.B.	DATE 2/21
CHECKED BY W.T.C.	DATE 2/21
VERTICAL SCALE N/A	HORIZONTAL SCALE 1"=300'



950 Encore Way
Naples, FL. 34110
Phone: (239) 254-2000
Florida Certificate of
Authorization No.1772

**CDD DRAINAGE EASEMENTS
and LAKE CONVEYANCE MAPS**

THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:	REFERENCE NO. SEE PLOTSTAMP	DRAWING NO. 5008-1
DATE _____	PROJECT NO. 2013.030	SHEET NO. 1 OF 5



LEGEND

- L21 - NRC = LAKE # PER PLAT
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 - PRESERVE TRACTS MAINTAINED BY HOA
 - DRAINAGE EASEMENTS AND PIPES MAINTAINED BY CDD
 - LAKE LITTORAL AREA

PLAT	REFERENCE
C.H.I	CORAL HARBOR PHASE I
C.P.& B.I.	CRANE POINT & BIMINI ISLE
N.R.C.	NAPLES RESERVE CIRCLE
N.R.I.C.	NAPLES RESERVE ISLAND CLUB
N.R.I	NAPLES RESERVE PHASE I
N.R.II	NAPLES RESERVE PHASE II
N.R.III	NAPLES RESERVE PHASE III
P.C.	PARROT CAY
S.C.	SUTTON CAY

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MATCHLINE - SEE SHEET 3

MATCHLINE - SEE SHEET 4

H:\2013\20130303\20130303-04-CDD_PRESERVE TO HOA\2013_CDD_PRESERVE TO HOA.dwg, 2013-05-22 10:18am, Printed by: jeds

LETTER	REVISIONS	DATE
△	ADDED WCS's & WQS's	5/22

NAPLES RESERVE

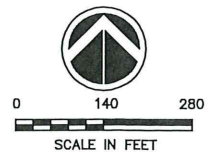
DESIGNED BY W.W.B.	DATE 2/21
DRAWN BY W.W.B.	DATE 2/21
CHECKED BY W.T.C.	DATE 2/21
VERTICAL SCALE N/A	HORIZONTAL SCALE 1"=140'



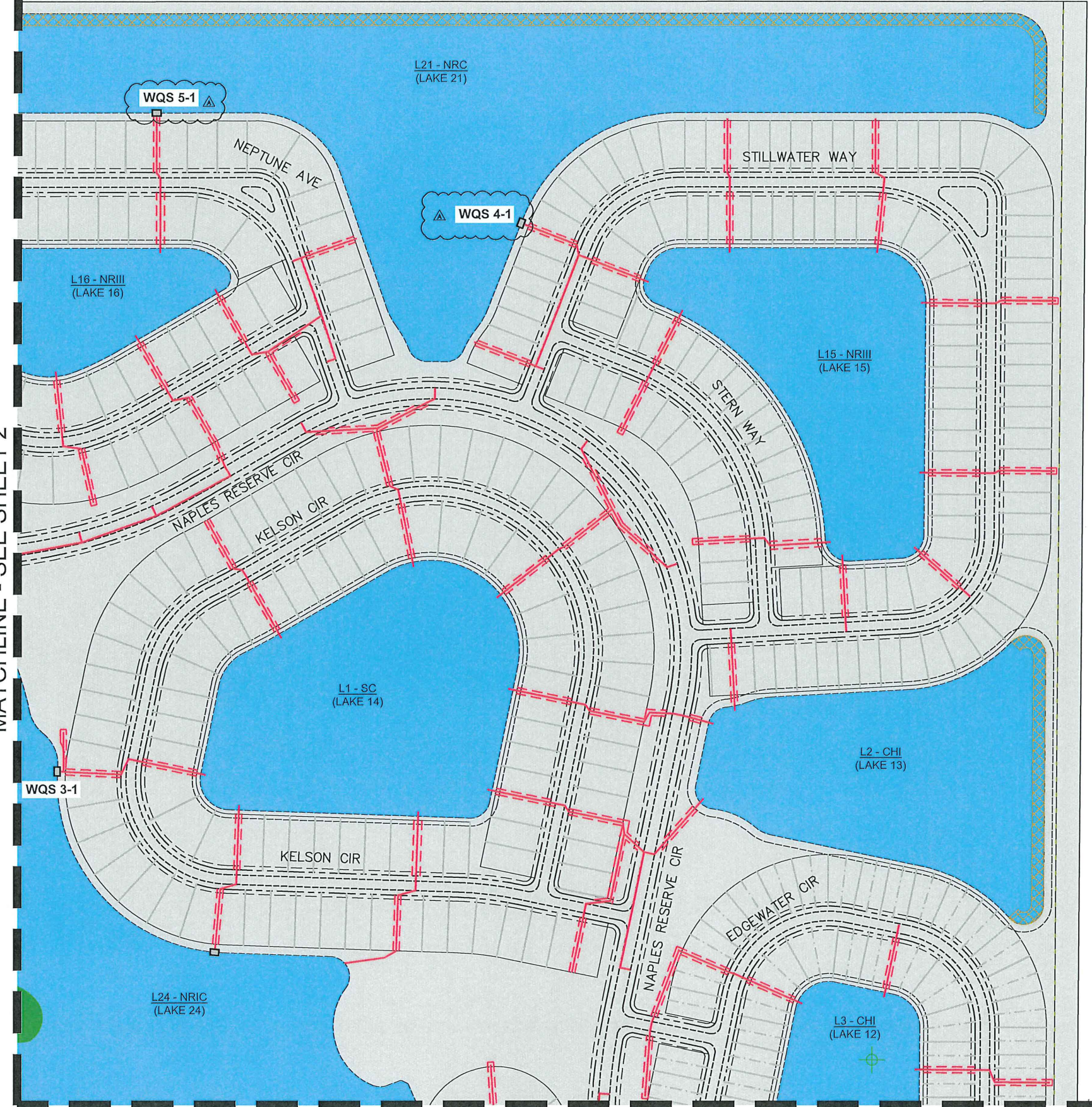
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DATE	SEE PLOTSTAMP	2005-02
	PROJECT NO.	SHEET NO.
	2013.030	2 OF 5



MATCHLINE - SEE SHEET 2



MATCHLINE - SEE SHEET 5

LEGEND

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LETTER	REVISIONS	DATE
A	ADDED WCS's & WQS's	5/22

NAPLES RESERVE

DESIGNED BY	W.W.B.	DATE	2/21
DRAWN BY	W.W.B.	DATE	2/21
CHECKED BY	W.T.C.	DATE	2/21
VERTICAL SCALE	N/A	HORIZONTAL SCALE	1"=140'

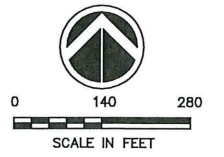


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	SEE PLOTSTAMP	5008-3
	PROJECT NO.	SHEET NO.
	2013.030	3 OF 5
DATE		

MATCHLINE - SEE SHEET 2



MATCHLINE - SEE SHEET 5

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- THE DEVELOPMENT IS ZONED 'RPUD'.

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LETTER	REVISIONS	DATE
△	ADDED WCS's & WQS's	5/22

NAPLES RESERVE

DESIGNED BY	W.W.B.	DATE	2/21
DRAWN BY	W.W.B.	DATE	2/21
CHECKED BY	W.T.C.	DATE	2/21
VERTICAL SCALE	N/A	HORIZONTAL SCALE	1"=140'



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DATE _____	SEE PLOTSTAMP	5008-04
	PROJECT NO.	SHEET NO.
	2013.030	4 OF 5

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

14C



Wrathell, Hunt and Associates, LLC

TO: Naples Reserve CDD Board of Supervisors

FROM: Shane Willis – Operations Manager

DATE: August 4, 2022

SUBJECT: Status Report – Field Operations

SOLITUDE:

- Aeration & Lake Management agreements expire in November & December, with one-year automatic renewals taking place.
- Solitude will provide the Operations Manager a monthly report on the aeration systems i.e., what was repaired, system waiting for parts etc. Significant issues will be included in the Operations Manager's report.
- The remaining lake pipes have water depth markers on them.
- July's maintenance visits: June 7, 14, 21, & 27.
- August maintenance dates: Pending

CARDNO:

- Upon review of the Cardno agreement, they are billing for water quality testing for chlorides. While chloride testing is a part of water quality testing, it is not a water quality test. Chlorides are a result of salt water intrusion during the dry season. Water quality testing usually includes testing for dissolved oxygen, PH levels and turbidity.

NAPIER:

- Conducted a coordination meeting with District Engineer Terry Cole on lake bank restoration projects.
- Remediation has begun on the staging area on Nautica, currently waiting for the sod farms to dry out for additional deliveries of sod.

- A retainage of 10% will be held until confirmation of sod take in the remediation area.

MISCELLANEOUS:

- Currently networking and sourcing vendors that could provide emergency drain clearing in the aftermath of a storm
- Conducted a review of the proposed “emergency” boat ramp site, report provided to District Manager. Issues to consider if moving forward: public use if built by CDD, Ongoing maintenance costs, how to control use during non-emergencies.
- Resident Interactions:
 - Kelson Circle Resident asked about erosion issues in his yard, I provided an explanation of how it occurs and encouraged the installation of downspout drains. He stated he was going to have them installed.
 - Stillwater Way Resident called with a concern about the water quality in the lake behind his home. I did not find any issues with the lake and provided an explanation on why there was some minor shoreline algae. A report was sent to the District Manager.

**NAPLES RESERVE
COMMUNITY DEVELOPMENT DISTRICT**

14D

NAPLES RESERVE COMMUNITY DEVELOPMENT DISTRICT

BOARD OF SUPERVISORS FISCAL YEAR 2021/2022 MEETING SCHEDULE

LOCATION

Island Club at Naples Reserve, 14885 Naples Reserve Circle, Naples, Florida 34114

DATE	POTENTIAL DISCUSSION/FOCUS	TIME
October 7, 2021 CANCELED	Regular Meeting	10:30 AM
October 14, 2021	Workshop	10:30 AM
Join Zoom Meeting: https://zoom.us/j/93710553245?pwd=L2xyZTBXLzVIM0NESVNoUHhGTFQzd09 Meeting ID: 937 1055 3245 Passcode: 521802 Dial by Location: 1 929 205 6099 Meeting ID: 937 1055 3245 Passcode: 521802		
November 3, 2021	Regular Meeting	10:30 AM
November 4, 2021 CANCELED	Regular Meeting	10:30 AM
December 2, 2021	Regular Meeting	10:30 AM
January 6, 2022 CANCELED	Regular Meeting	10:30 AM
February 3, 2022	Regular Meeting	10:30 AM
March 3, 2022	Regular Meeting	10:30 AM
April 7, 2022 CANCELED	Regular Meeting	10:30 AM
May 5, 2022	Regular Meeting	10:30 AM
June 2, 2022	Regular Meeting	10:30 AM
July 7, 2022 CANCELED	Regular Meeting	10:30 AM
August 4, 2022	Public Hearing & Regular Meeting	10:30 AM
September 1, 2022	Regular Meeting	10:30 AM